



The Sanctuary Village  
Master Plan, Regulating Plan  
and Neighborhood Code  
*Franklin, North Carolina*





March 7, 2007

Mike Decker  
Town Administrator  
The Town of Franklin  
188 West Main Street  
Franklin, NC 28734

Reference: Approval Request for Regulating Plan and Neighborhood Code –  
The Sanctuary Village

Parcel ID # 1248757

Dear Mr. Decker:

On behalf of Sanctuary Communities of NC, Inc., a Florida corporation registered in North Carolina and doing business as The Sanctuary Communities, I submit the attached volume, The Sanctuary Village Master Plan Book, Regulating Plan and Neighborhood Code. This volume is intended to comprise the Regulating Plan and Neighborhood Code required under Paragraph (A)(3) of Section 153.23, Traditional Neighborhood Overlay Regulations.

The Sanctuary Communities hereby request that the parcel described above be accepted as a Traditional Neighborhood, subject to Section 153.23 and the Regulating Plan and Neighborhood Code described in the attached volume, with the following additional comments and notations:

1. We respectfully request that Section 153.23(B), Use Regulations, be modified as to this submission so that the permitted uses include the underlined language as follows, which appears to have been inadvertently omitted from the original draft of the regulations:  
(4) Retail uses, including shops selling clothing, accessories, furniture and house wares, [a]rt studios and galleries, craft, antique and book shops.
2. The master plan and regulating plan can be expected to undergo some modifications due to site conditions, fine-tuning of the plan and response to market conditions. Section 153.23(A)(3) provides that the Regulating Plan is a “conceptual plan providing for the general location of civic, commercial and residential uses, as well as throughways, alleys and any other significant features of the proposed project.” Accordingly, modifications of the master plan and regulating plan that do not change the general design of the project, as well as non-material adjustments to the Neighborhood Code shall not be deemed inconsistent with this approval.
3. Most lots will accommodate a garage apartment, “granny flat” or other accessory building. The accessory building may be used for residential use, which, in accordance with 153.23(B)(8) does not count toward the cap on residential density and may be separately rented so long as the primary building is not rented.
4. Home industry that does not generate significant traffic, noise or odor or change the exterior appearance of a building shall be permitted on any parcel, in either the main building or the accessory building, and shall not be deemed a commercial use. There shall be no signage allowed for home-based business.
5. As stated in the submitted volume, the developer will implement a design approval process to review all planned improvements to the property.

Thank you for considering this submission. If you have any questions whatsoever, please do not hesitate to call me.

Sincerely,

Timothy J. Ryan  
The Sanctuary Communities  
Franklin, NC 28734

# A Mountain Village Neighborhood that Connects to Main Street

When Iva and I moved our family from South Florida to Macon County in 2003, we looked upon our new home as a refuge, a sanctuary, from the stress-inducing atmosphere of so many of America's metropolitan areas. But it wasn't escape that drew us. It was the opportunity for a different kind of engagement – engagement with the natural setting, with the traditions of an historic community, with other citizens who prefer small town mountain life to the annoyances of too many hours spent in cars and in places too soulless to be called real communities.

A real community has to know and honor the unique place in which it finds itself. It knows where it fits in the natural world and in the built environment shaped by local tradition. You know you've achieved community with a new place if it feels as if it belongs with the best of the region's old places, as if it's always been there.

That was the goal we set for ourselves when we began planning Sanctuary Village, our 23-acre neighborhood just 5 blocks from Franklin's historic downtown. We asked the experienced design team from Allison Ramsey Architects to help us create the kind of real community we imagined. And we agreed that planning for it required the active participation of neighbors and town officials. We held our four-day *charrette*, an intense four-day collaborative workshop, in downtown Franklin and welcomed everyone's ideas and criticism. What you see on these pages is the product of that collaboration.

By stressing the traditions of the best in-town neighborhoods, where a mix of housing types nestle comfortably with one another in compact patterns, we were able to set aside some 40 percent of our land as green space for parks and natural walking corridors. We kept the streets narrow to discourage speeding. Sidewalks and walking paths abound. As a result, we are rewarding those who choose the oldest and most efficient means of human transport – our own two legs. We know we can't live without cars. But our location and the design of our public and private spaces, including homes with garages in back, makes walking a realistic alternative.

We think you'll see in the wide variety of housing options, including cottage clusters and mansion flats with elevators, a high standard of architectural innovation. But there will also be something very familiar about these designs. They are drawn from traditions that work and from styles that have been admired for generations.

That's the combination we want: The latest in design and building techniques marshaled to achieve the best of traditional neighborhood development. We want our version of the new to be worthy of the best of the old.

For more information about us, The Sanctuary Communities in Macon County, and The Sanctuary Village, visit: [www.sanctuaryvillage.com](http://www.sanctuaryvillage.com).

## The Sanctuary Village at Franklin Charrette Members

Tim Ryan  
Bill Allison  
Greg Huddy  
Bill Harris  
Eric McCollum  
Mike Hoenes  
Scott White  
Ben Brown

# Local Press Releases and Articles

## Charrette ends with plan for village

By Melissa Maracle, Staff writer

After about 40 hours of work, last week's three-day charrette ended with a master plan for a downtown development that pleased all involved.

When asked if the charrette met his expectations, Tim Ryan, owner of The Sanctuary developments, said, "It was much greater."

A charrette is an intense period of design work over a few days. In this case, the design was The Sanctuary Village development. Architects, engineers, town officials, town citizens, and any one else affected or involved was invited to join the process. After long hours and long days, the charrette ended with a finished design that would normally have taken months to accomplish.

This architect's drawing shows traditional elements of the Sanctuary Village development. The center green space rises to a ridge that will be left undeveloped. Drawing/Allison Ramsey Architects

This charrette has been in the making for some time.

When Tim Ryan decided to build a development in Franklin, he wanted it to reflect the ideas of New Urbanism. New Urbanism is a movement of smart urban growth that has become increasingly popular over the last 10 or 20 years. It develops high-density, traditional neighborhoods that follow principles like walkability and community.

After World War II, the movement out of cities and toward the suburbs began, eventually ending in today's suburban sprawl. New Urbanism attempts to combat the sprawl and the traffic with homes that are close together and have small streets and natural environments.

- The Sanctuary Village, just off Iotla Street above Main Street, will be that sort of development.
- The charrette began Monday evening, July 10.
- Each morning after that, architect Bill Allison and other architects from the company Allison Ramsey hit the drawing board to design, revise, and create The Sanctuary Village.
- In the afternoons, the development team met with town officials and citizens to discuss the elements.
- The first full day, Tuesday, the team met with town political and regulatory officials.
- Town officials including Mayor Joe Collins and aldermen Sissy Pattillo and Bob Scott attended the meeting. They discussed the land, the ability to get water and sewer to it, the zoning codes, and affordability.
- "I just think it's a neat concept," said Pattillo. "As far as I know, nothing like this has ever been done here."
- There was some concern expressed about housing affordability.
- Allison responded to their concerns.
- "I don't think we're going to be really affordable but not outrageously expensive either," he said.
- Current building costs are not cheap, but Allison and Ryan hope the smaller homes will be affordable to many people.
- House sizes will range from about 600 square-foot cottages to homes as large as 3,000 square feet. However, even the large lot sizes are only about 50 by 100 square feet, meaning the larger homes will have small footprints.
- Wednesday, the team met with realtors, builders, and marketers.
- They discussed possible markets for the development.
- Many commented that there is a definite market for small homes among senior citizens and retirees.
- They said that at least some of the houses should have a master bedroom and laundry on the main floor to make it easier for residents.
- The development is also close to the nursing home and the hospital, making it more desirable for retirees. With more retirees moving to this area, Ryan expects his that market to be a big part of his development.
- But Ryan and Allison said they are trying to cover all markets with The Sanctuary Village.
- Many of the homes are perfect for young professionals or couples who do not need large homes and want to be close to town.
- And with a community emphasizing nearness and safety, the team expects it will also be a draw for families with children.
- Ryan plans to build some homes, and to release lots in groups rather than scattered over the 22-acre development. This

will help keep that sense of community.

- For those who buy a lot and plan to build their own home, the plan must follow architectural guidelines to make sure it fits with the overall development.
- There will be a time limit for building. If the process is not completed within that time, Ryan will simply buy back the lot at the purchase price.
- Ryan especially wants to avoid the practice of "flipping lots," or buying a lot only to sell it again for a profit.
- "We don't want people who are in it for flipping lots. We want people who are in it for building," said Ryan.
- When it comes to building the neighborhood and the homes, the team is very particular about how it should be done.
- They insist on certain traditional elements to the design, like quality wood doors, thicker windows, and no fake materials.
- "Every house has to be unique," said Ryan.
- Home builders must work inside the footprint to build.
- They want to preserve as much of the vegetation as possible.
- The architects walked over the development Monday to get a feel for the land, and their design reflects that.
- They have designed the development around the land and use the land's natural features. This way, they preserve much of the trees and vegetation, and avoid excessive grading.
- "All this is in response to the natural geography of the site," said Allison.
- Some at the meeting asked about the possibility of solar power, and Allison responded that the land probably will not get enough sunshine since it is on a south-facing slope and many of the trees will be retained.
- However, much of the energy efficiency of the development comes simply from the ability to walk to rather than drive.
- Another concern was light pollution, and Allison said that he is interested in lightposts that shine downward. Also, the nearness of front porches to the road reduces the need for many street lights.
- Each evening of the charrette, the team came together for a meeting to review the progress and critique the design.
- They posted the progression of the design and took questions from the community.
- Thursday evening, they presented their final design.
- One wall was covered with drawings of how the neighborhood will look, the design for the development, and sample house plans.
- They presented a detailed slide show to about 30 or 40 people - a much larger turnout than any night previously.
- The final design showed all the features of the development.
- The existing ridge and stream areas will be turned into green parks for residents to enjoy.
- The Mews runs through the center of the development. It's a wide path of stairs and greenery that stretches from the stream at the bottom to the ridge at the top.
- There will be a pedestrian greenway, gazebos, gardens, pavilions and chapels, and a mail distribution center at the entrance.
- The live-work unit, with a store below and an apartment above, will probably be Ryan's sales office at first. Ryan hopes that in the future it will become a small neighborhood grocery store or coffee shop for residents to gather.
- There are currently 145 lots, and about 40 percent of the development is open green space.
- "We build density, and we're not afraid to say it and we're not afraid to do it," said Allison, adding that this density encourages neighbors to get to know each other.
- There will be some cottage areas, some single-family homes, and even tree houses. Tree houses are tall three- or four-story houses built in a small footprint. They are perfect for building on the slopes.
- There will also be at least one three-story multi-family building with six one-story apartments.
- Garages will be along back alleyways and not in the front against the street. Some of the garages may have a small carriage house above them that could be an office, a rental apartment, or a guest home for visitors.
- However, garages are optional, and could simply be a carport or parking pad.
- Much of the parking will be along the streets, which will help to keep speeding to a minimum.
- The roads are narrow, but the sidewalks are wide. A five-foot wide sidewalk on one or both sides of the streets is easier for walking beside someone, or for allowing children on bicycles to pass.
- "We're not selling an individual house and we're not selling a product," said Allison. "We're selling a community."
- Throughout the process, community comments about the development included words like "insightful" and "interesting."

# Local Press Releases and Articles

Greg Huddy, one of the designers and architect for Allison Ramsey, has been involved in charrettes before, and he supports the process.

**“I think it’s bringing a new way of thinking to the community,” he said. “It’s a lot of fun to see the excitement that’s generated. People start to get what it’s all about.”**

Ryan was very pleased with the charrette.

**“This is a community that is based on principles that were established 100 years ago,” said Ryan in his opening comments. “We want it to last beyond our lifetimes, and we will do everything possible to create that strong foundation for us to grow on.”**

At the end of the meeting, Ryan said it was definitely worth the effort.

**“I think the collective energies ultimately create a much better plan,” he said.**

Now the team will meet with a civil engineer to make sure the logistics work out. They will create a plan book and detailed architectural guidelines, and present it to the town board the first of September. Ryan hopes to begin building by next spring.

Ryan said he is grateful for this opportunity, and added, **“I look forward to watching the community grow.”**

## Franklin residents to help design new neighborhood

By Sarah Kucharski • Staff Writer

Macon County residents have the opportunity to help design the first New Urbanist traditional neighborhood in Western North Carolina — a neighborhood that will rely on mixed use and smart growth development practices to create a 22-acre housing complex just outside downtown Franklin.

Developer Tim Ryan had been building typical gated mountain communities when he began thinking about relocating his father to Franklin. Finding suitable housing proved harder than expected, as Ryan’s father was interested in an in-town location but a relatively small house.

Ryan began piecing together land in a wooded area about five blocks north of Main Street with the idea of building another gated community. But then, something happened.

“He got hit by the New Urbanist bug,” said Ben Brown, a local resident and smart growth advocate.

Ryan met renowned architect Bill Allison, a champion of the New Urbanist movement that encourages walkable communities, good design and environmental sensitivity. Ryan was a quick study, talking to experts on the issue and reading books and doing Internet research.

“He just inhaled all the information,” Brown said.

When Ryan was ready to get to work, Franklin Town Planner Rebecca Crawford introduced him to Brown, who has conducted design charrette’s — work sessions that encourage public input — nationwide. One of Brown’s current projects is working with a community in Mississippi to rebuild following the complete destruction of Hurricane Katrina.

Together Brown, Ryan and Allison organized a three-an-a-half-day charrette to solicit community input to design what has become known as Sanctuary Village.

“The idea is to plan the entire community as much as is possible,” Brown said.

In an introductory presentation to the charrette Monday night, Allison showed audience members what they had so far — a plat survey marking the lay of the land and a few trees that they already knew they wanted to make particular efforts to save. Beyond that — well, it’s up to Macon County.

Planners will be working throughout Wednesday and Thursday as the charette wraps up, with public presentations scheduled for 5:30 p.m. each night. Thursday’s presentation will be of the final plan. The public is encouraged to drop by the Burrell Building on Main Street at any time to see the plans, ask questions and get involved.

“This will be an exciting week, and we’ll end up Thursday with a lot of questions answered,” Ryan said. “We look forward to the process.”

“This will be the biggest new neighborhood in a long time and this is an opportunity for neighbors to put in their concerns and their hopes for enhancing the whole community,” Brown said.

- **Neighborhood Code**
  - Illustrative Master Plan
  - Regulating Plan
  - Dedicated Greenspace Diagram
  - 5 Minute Walk Diagram
- **Neighborhood Illustrations**
  - Perspective D - Cascading Park
  - Perspective A - Chapel
  - Perspective B - Ridgetop Park
  - Perspective C - Typical Streetscape
  - Perspective E - Cottage View
  - Perspective F - Stream Crossing
  - Site Section
- **Residential and Civic Architecture**
- **Architectural Standards**
- **Landscape Standards**
- **Review Board Forms**









# Neighborhood Code

# The Sanctuary Village

# Illustrative Master Plan



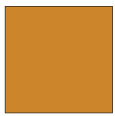

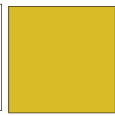


# The Sanctuary Village

## Regulating Plan



### Legend

	Mansion Flats 12-24 Units		Village Houses 72-80 Units		Treehouses 22-25 Units		Civic/Commercial 3-5 Units		Mountain Cottages 42-48 Units
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# The Sanctuary *Village*

## *Dedicated Greenspace Diagram*



# The Sanctuary Village

## 5 Minute Walk Diagram



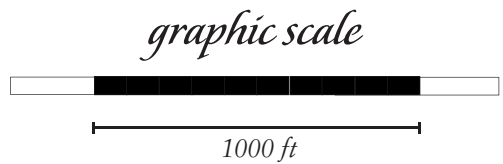
*relative compass*

### *One-quarter mile walking distance*

It is generally recognized that the convenient walking distance ranges up to one-quarter mile, or roughly a five- to ten minute walk. It is therefore important that for a neighborhood to be walkable, most homes should be within one-quarter mile of public parks, schools, civic buildings, retail, office, and various forms of culture. The one-quarter mile design yardstick also enhances the viability of transit.



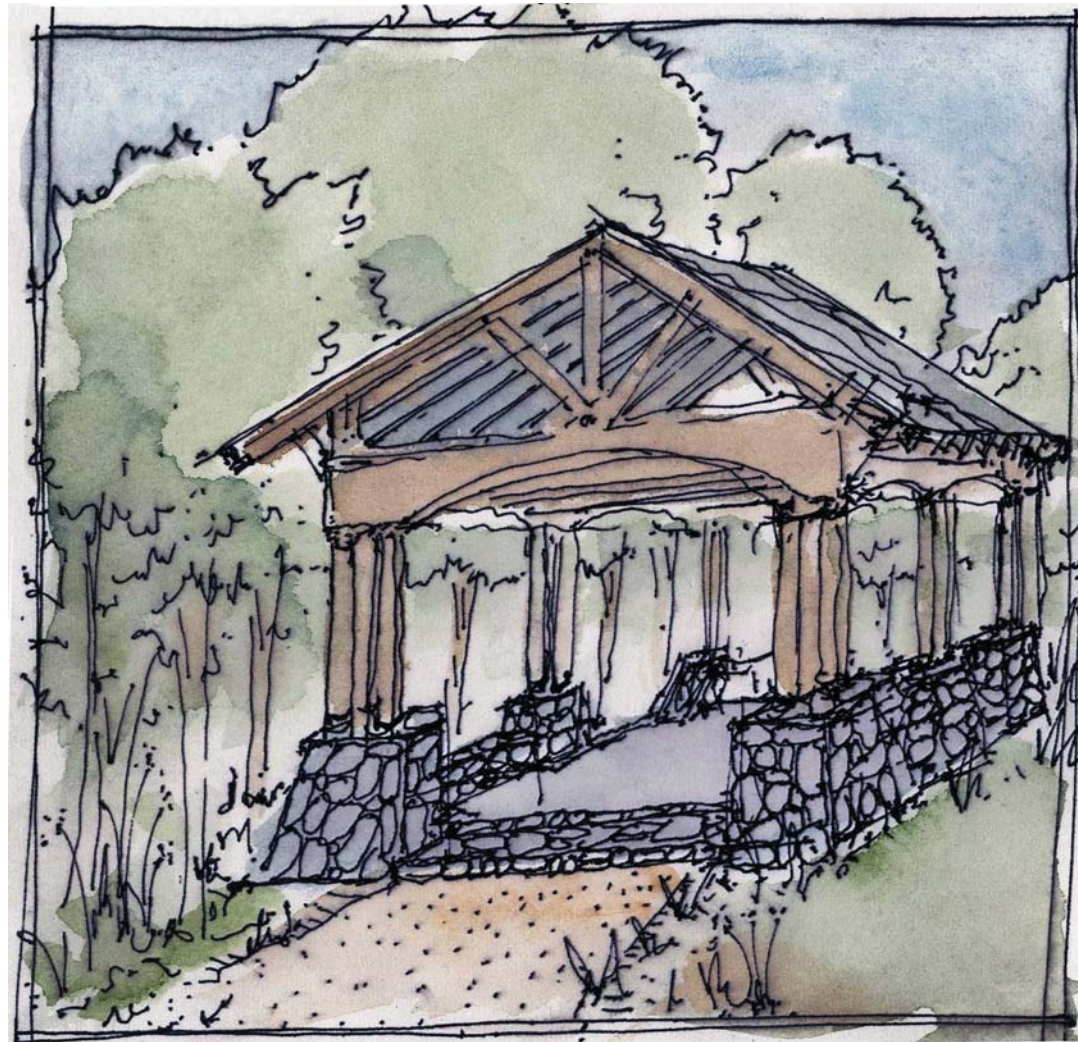
NOT TO SCALE



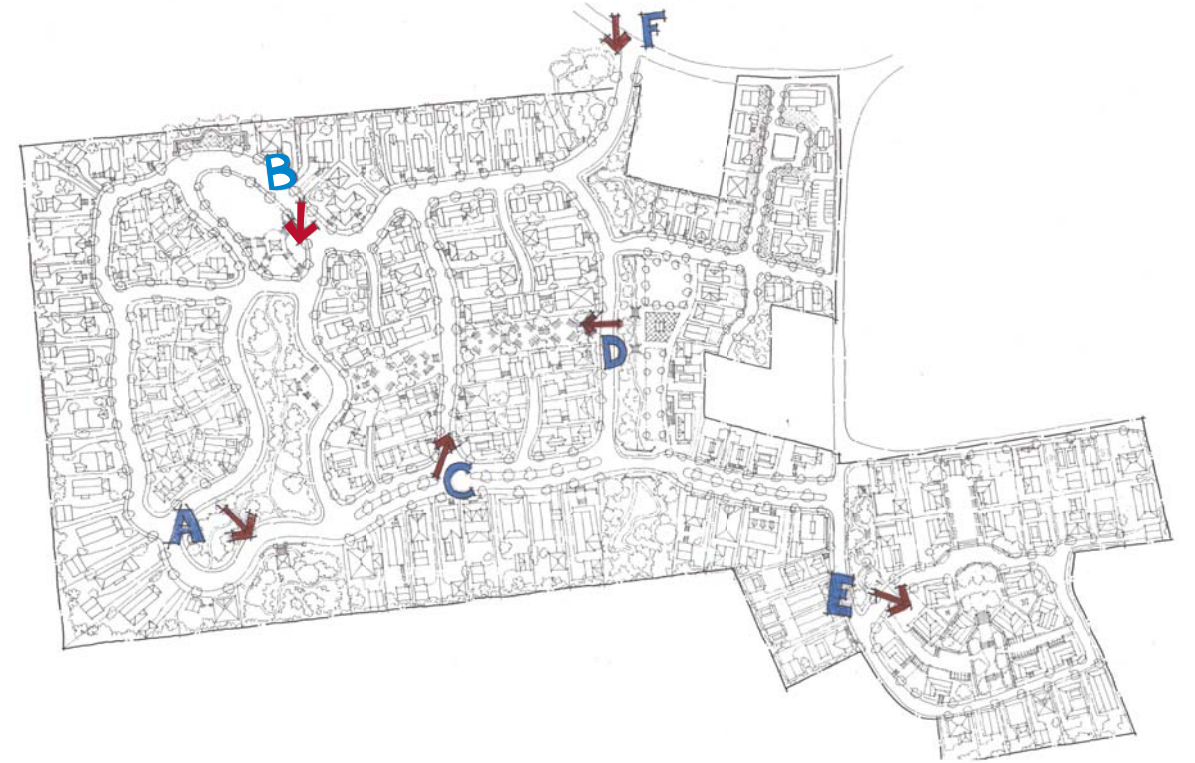
*Perspective  
D  
Cascading Park View*



*Perspective  
A  
Chapel*



*Perspective  
B  
Ridgetop Park*





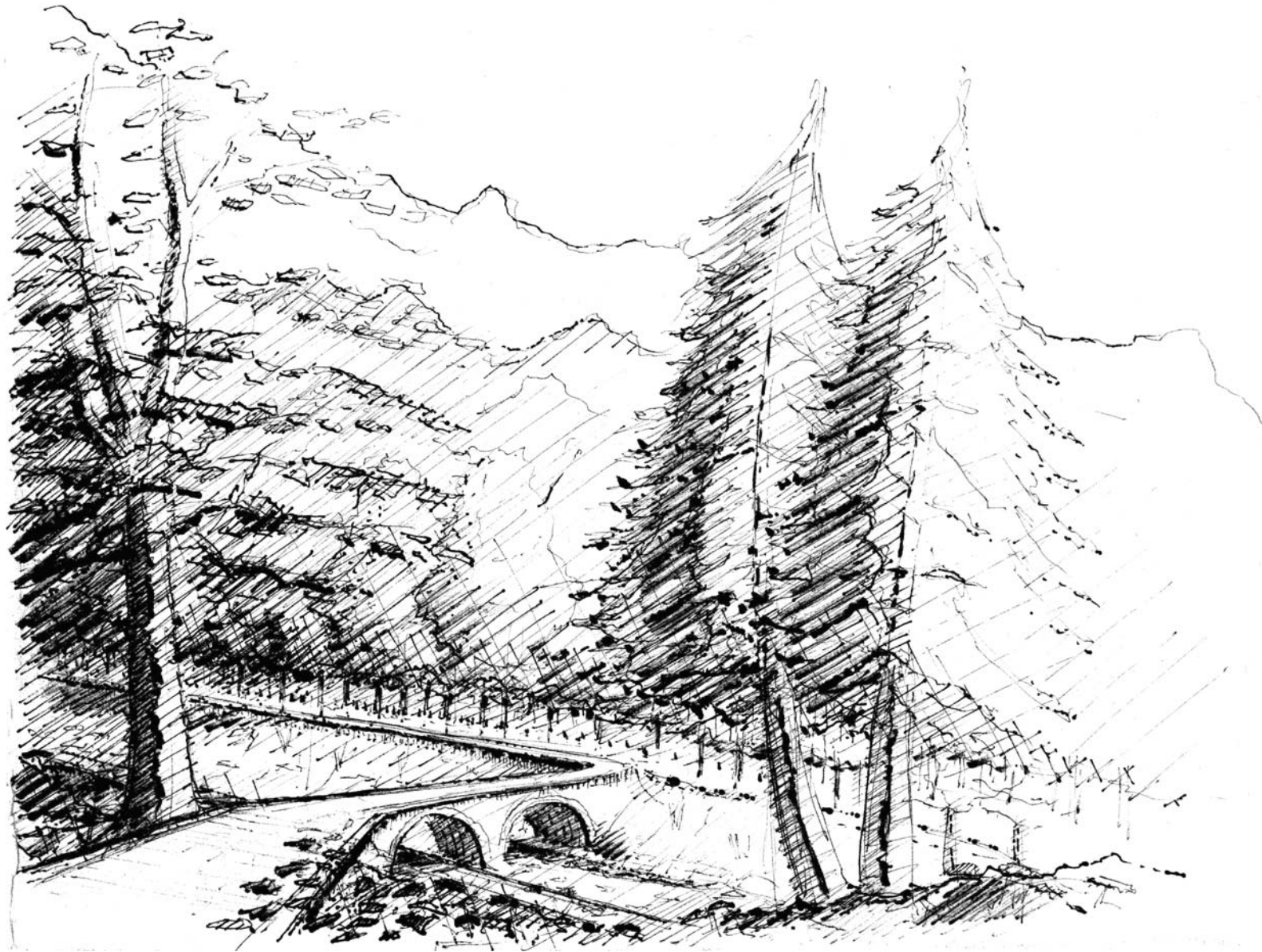
*Perspective  
C  
Typical Streetscape*



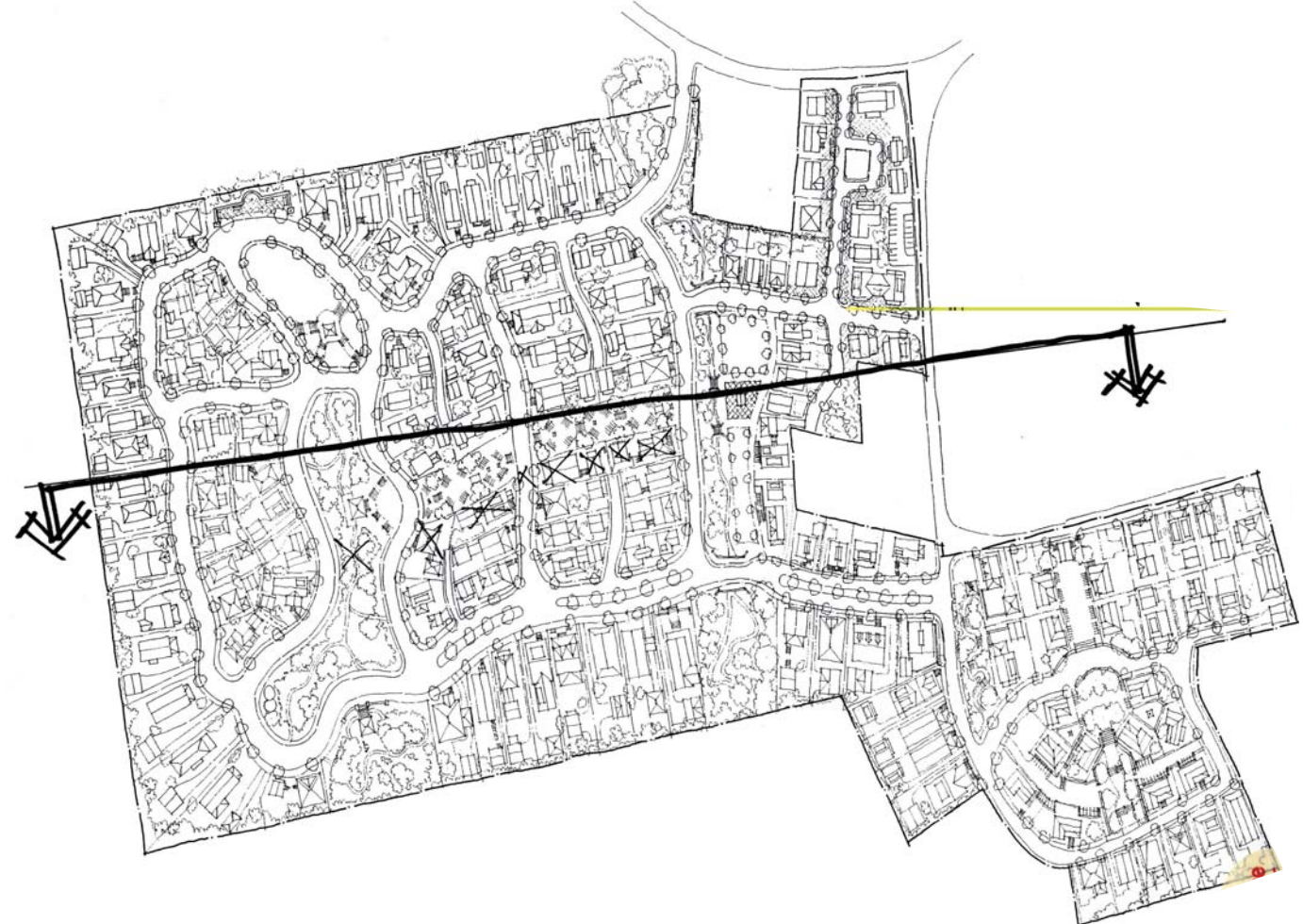
*Perspective  
E  
Cottage View*



*Perspective  
F  
Stream Crossing*



*Site Section*



general neighborhoods

ridgetop park with pavillion

residences along the cascading stair park

lower stream park

parkside residences

# The Sanctuary Village

## Street Sections



Street Section  
(general street 30' right of way)



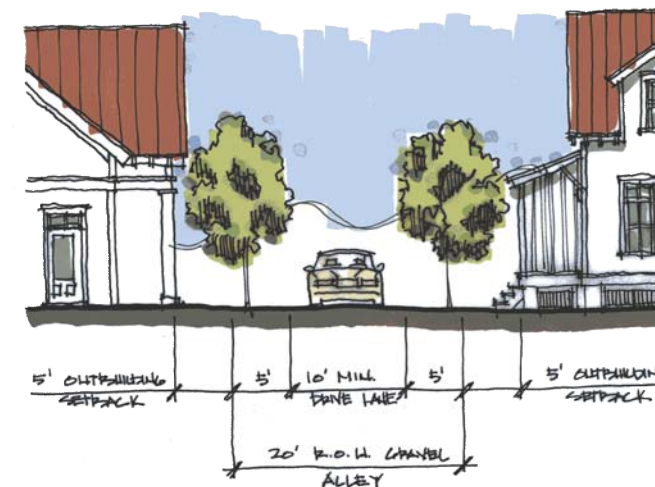
Street Section  
(split swale avenue)



Street Section  
(general street 46' right of way)



Street Section  
(general street 40' right of way)



Street Section  
(typical alley 26' right of way)



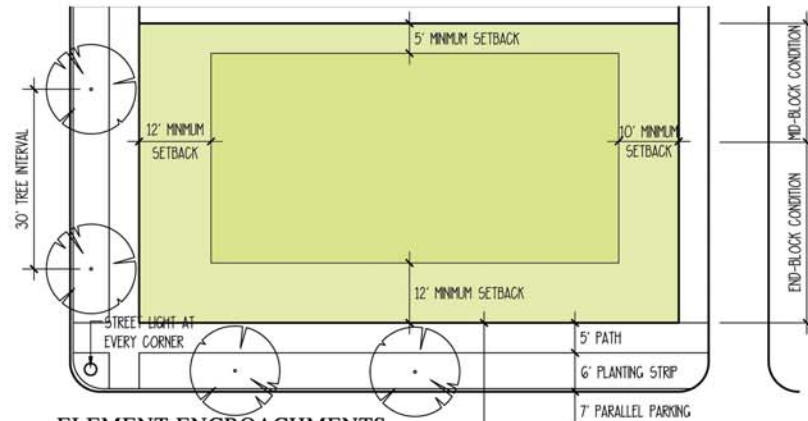


# Residential and Civic Architecture

# Village Houses

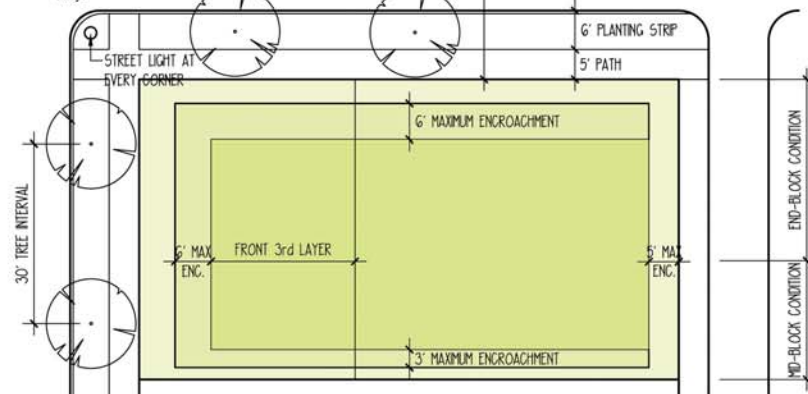
## BUILDING DISPOSITION

1. The facades and elevations of a building shall be distanced from the frontage and lot lines as shown.



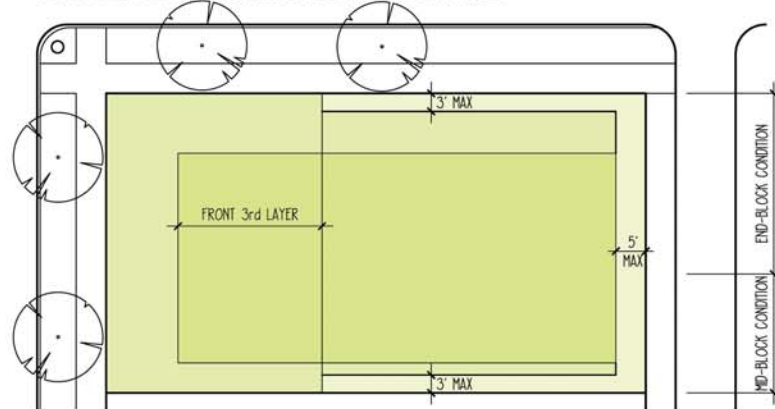
## ELEMENT ENCROACHMENTS

1. Stoops, bay windows, open porches and balconies may be located within the setbacks as shown in the diagram.  
 2. Utility connections, A/C units utility meters shall only be located beyond the front 3rd Condition layer along elevations or in the alley.



## OUTBUILDING PLACEMENT

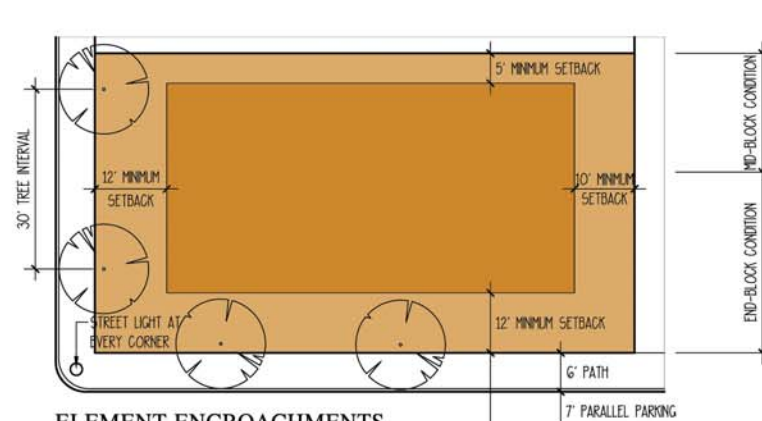
1. Uncovered parking spaces may be provided anywhere within the lot lines with approval from the design review committee.  
 2. Covered parking spaces shall be provided beyond the front 3rd layer as shown in the diagram.  
 3. Trash containers shall be stored beyond the front third layer as shown in the diagram.



# Tree Houses

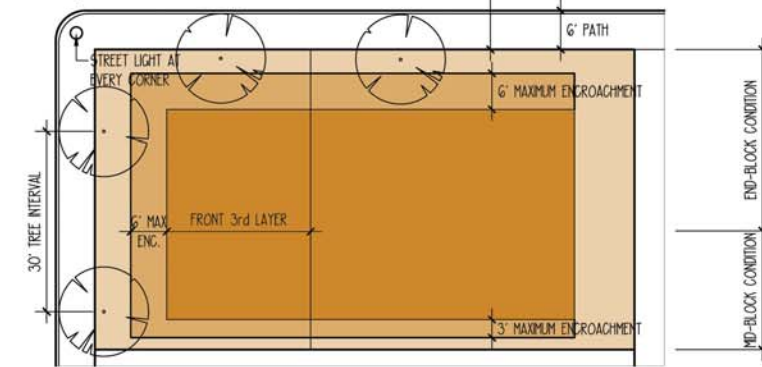
## BUILDING DISPOSITION

1. The facades and elevations of a building shall be distanced from the frontage and lot lines as shown.



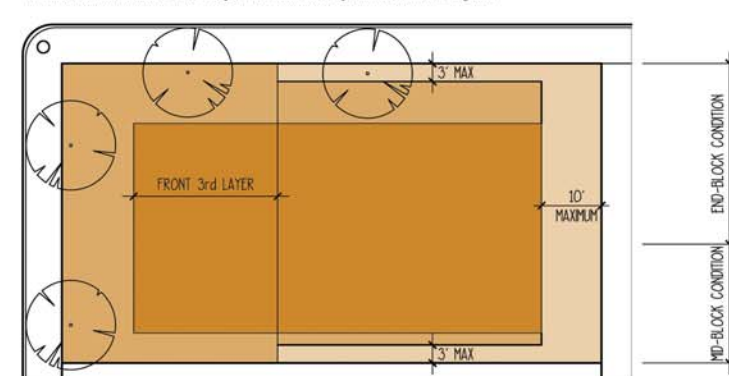
## ELEMENT ENCROACHMENTS

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 2. Utility connections, A/C units utility meters shall only be located beyond the front 3rd Condition layer along elevations or in the alley.



## OUTBUILDING PLACEMENT

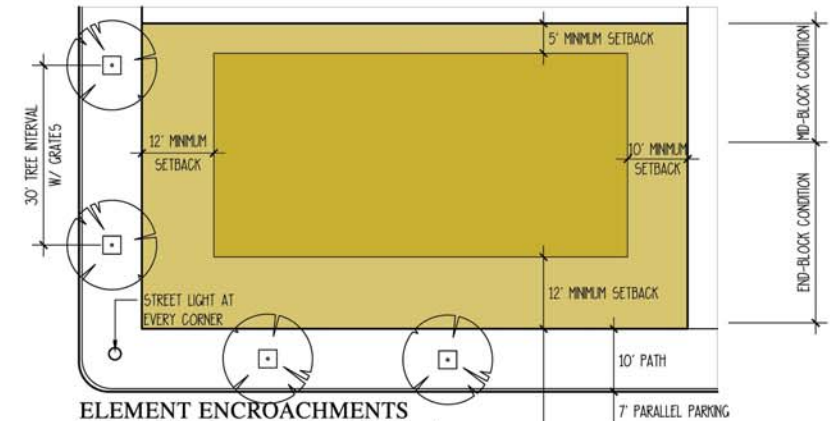
1. Uncovered parking spaces may be provided anywhere within the lot lines with approval from the design review committee.  
 2. Covered parking spaces shall be provided beyond the front 3rd layer as shown in the diagram.  
 3. Trash containers shall be stored beyond the front third layer as shown in the diagram.



# Cottage Courts

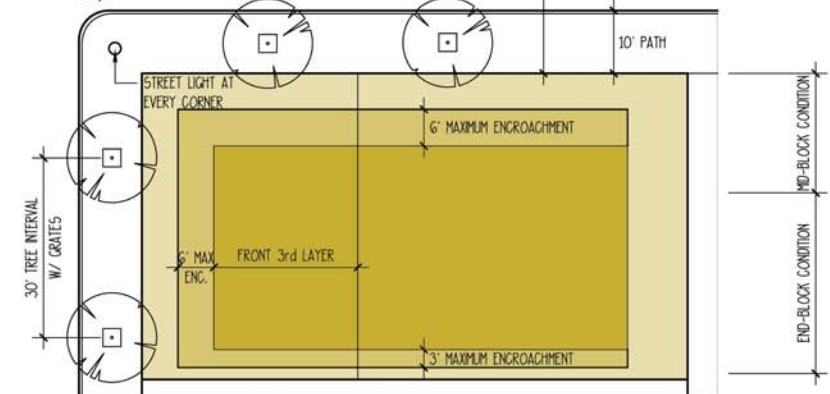
## BUILDING DISPOSITION

1. There are no specific building setbacks, but there shall be 10' separating individual buildings within cottage courts.



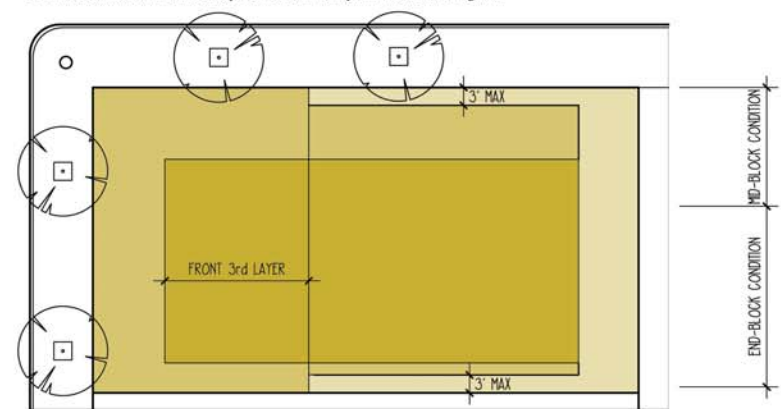
## ELEMENT ENCROACHMENTS

1. Stoops, bay windows, open porches and balconies may be located beyond the property over common spaces as shown in the diagram. The minimum height above grade for encroachments into commons will be 12'.  
 2. Utility connections, A/C units utility meters shall only be located beyond the front 3rd Condition layer along elevations or in the alley.



## OUTBUILDING PLACEMENT

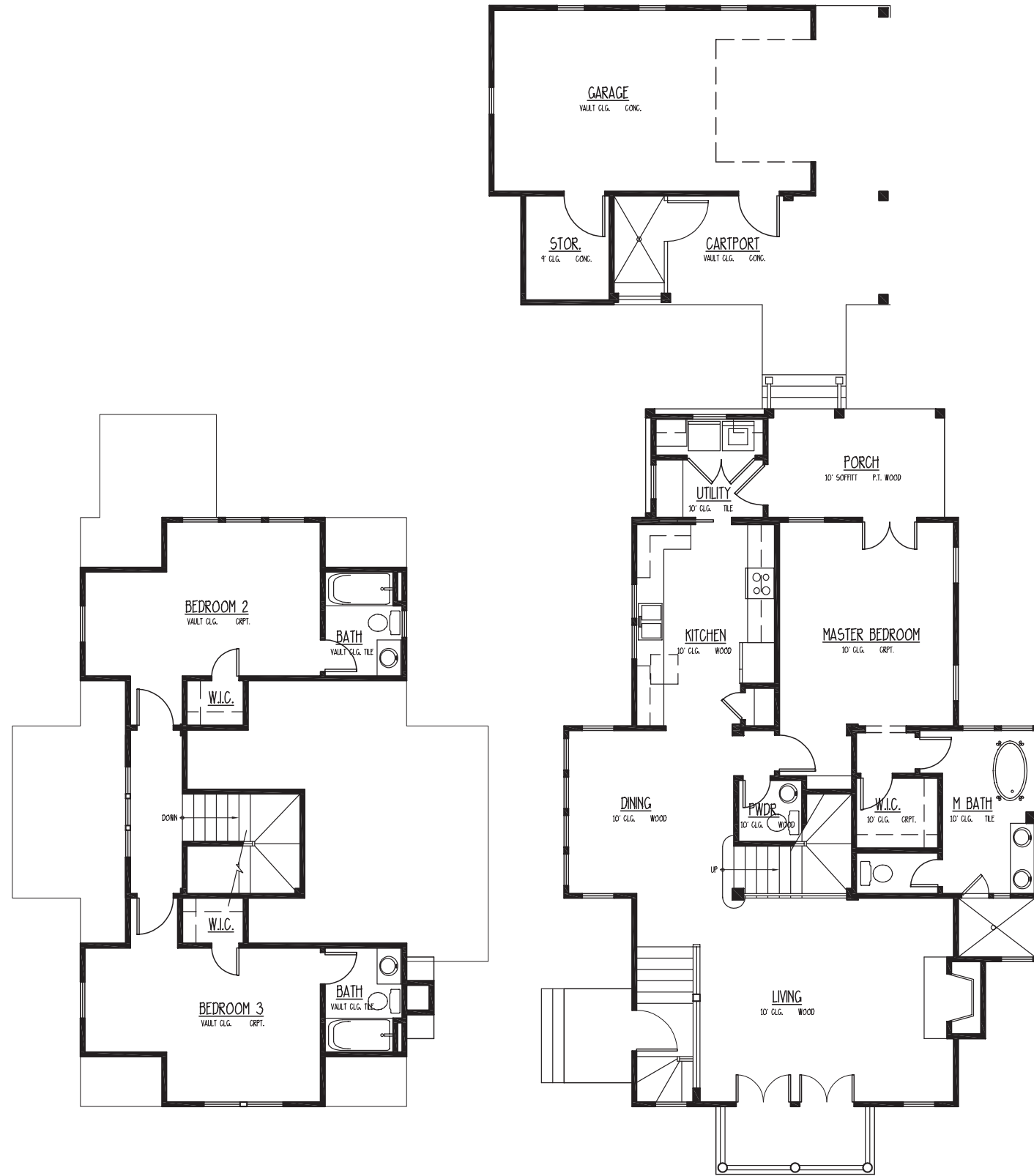
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 2. Covered parking spaces shall be provided beyond the front 3rd layer as shown in the diagram.  
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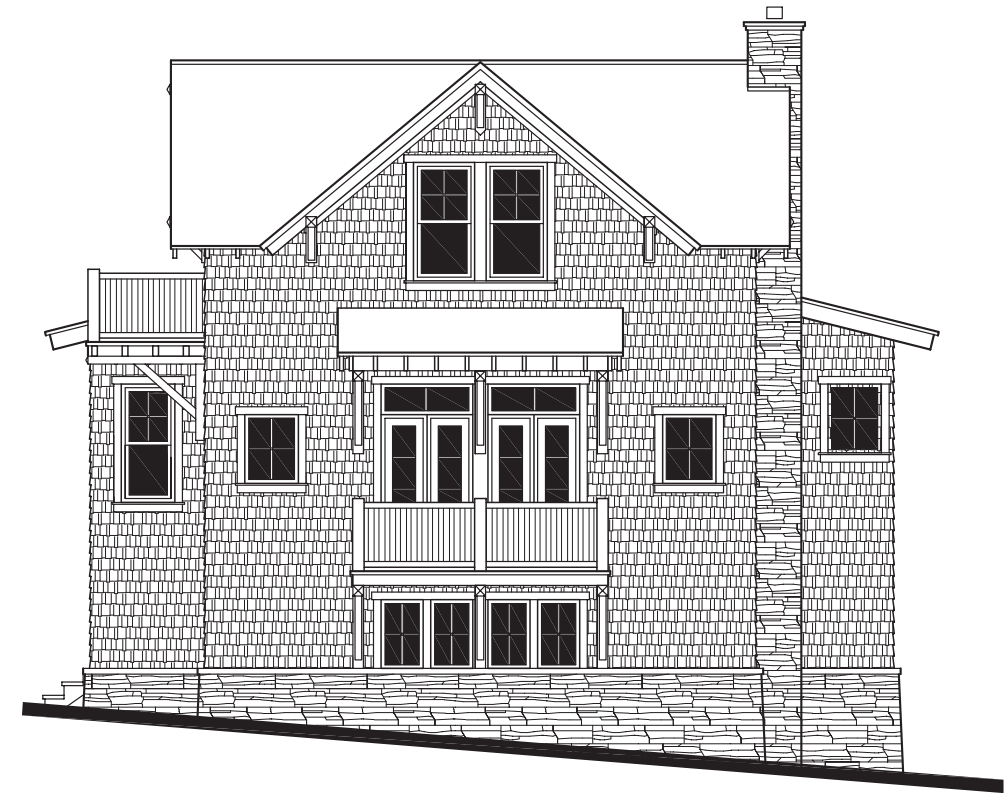
# House A

First Floor Heated - 1272 sq. ft.  
 Second Floor Heated - 607 sq. ft.  
 Total Heated - 1879 sq. ft.



SECOND FLOOR PLAN

FIRST FLOOR PLAN



ELEVATION

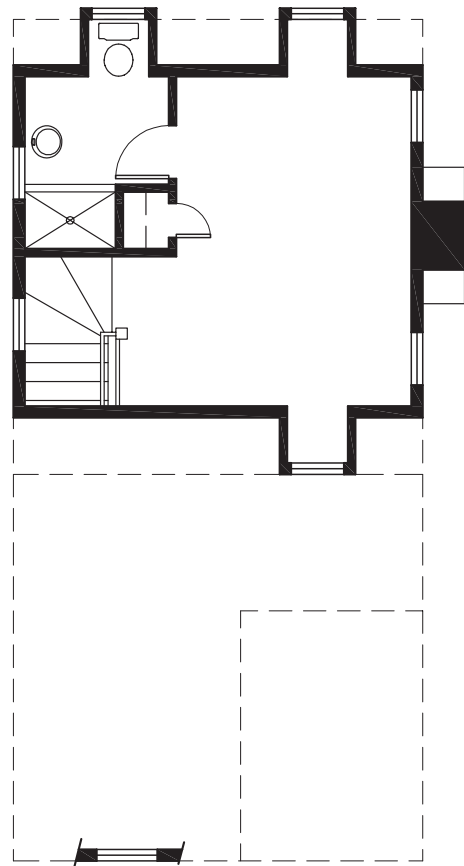


ALLISON RAMSEY  
**ARCHITECTS** Inc.

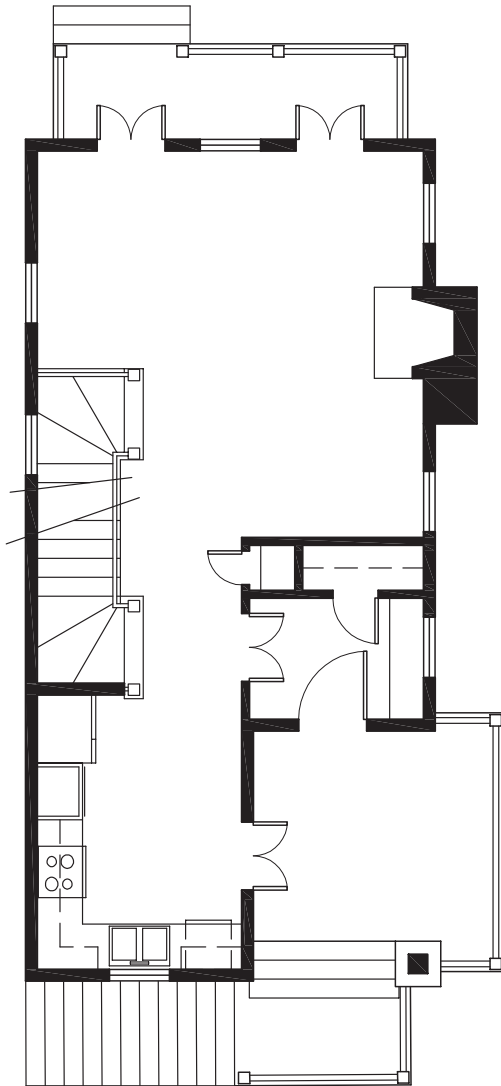
Members of the American Institute of Architects

# House B

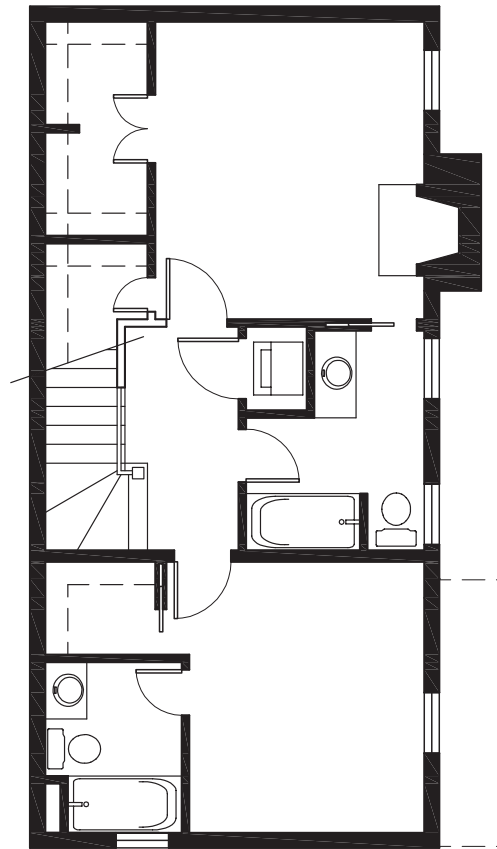
Ground Floor Heated - 648 sq. ft.  
First Floor Heated - 515 sq. ft.  
Second Floor Heated - 304 sq. ft.  
Total Heated - 1467 sq. ft.



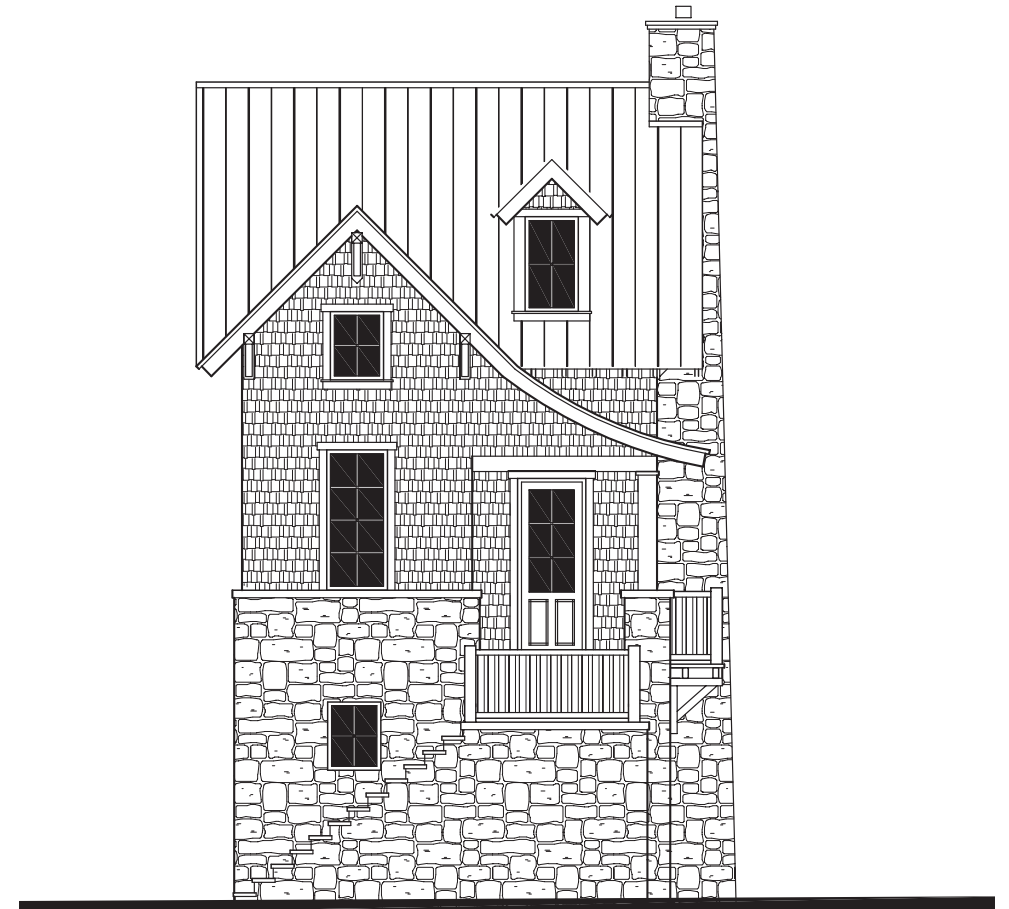
SECOND FLOOR PLAN



FIRST FLOOR PLAN



GROUND FLOOR PLAN

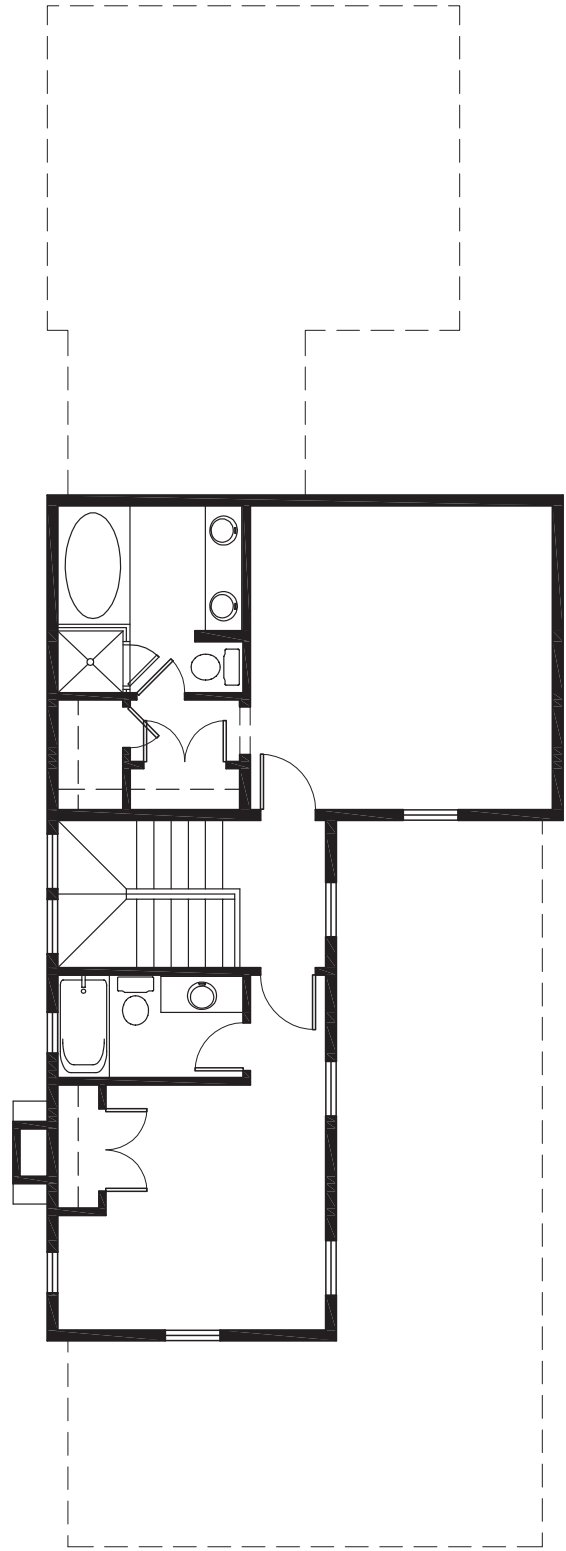


ELEVATION

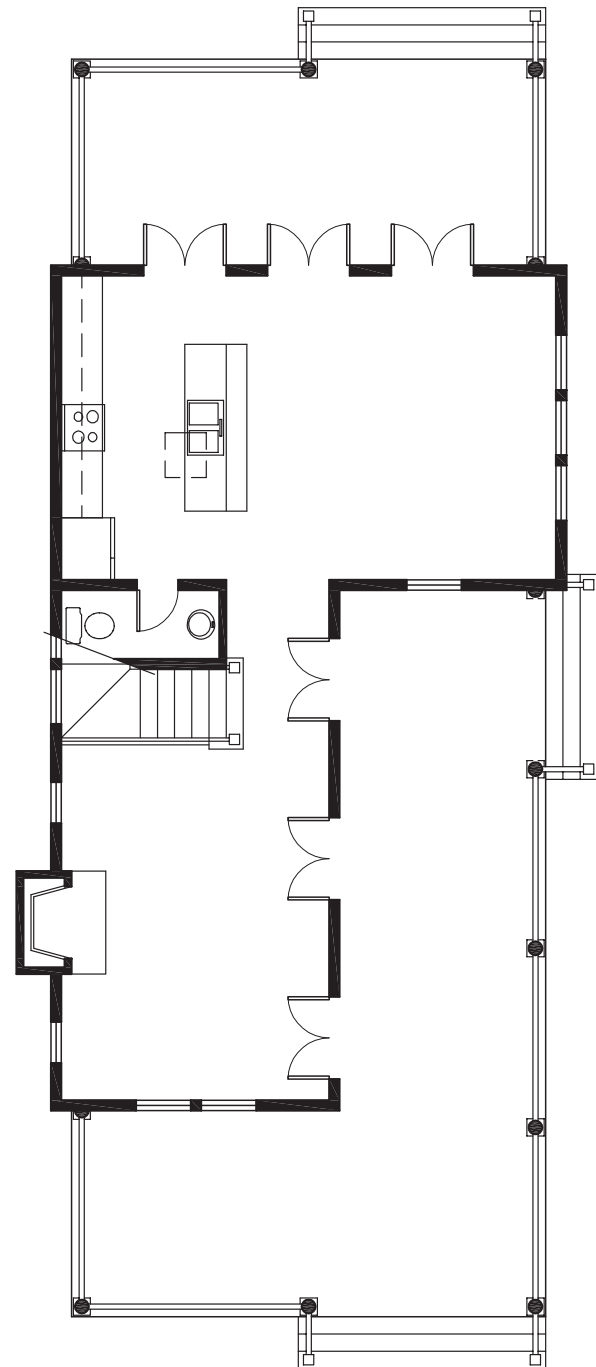


# House C

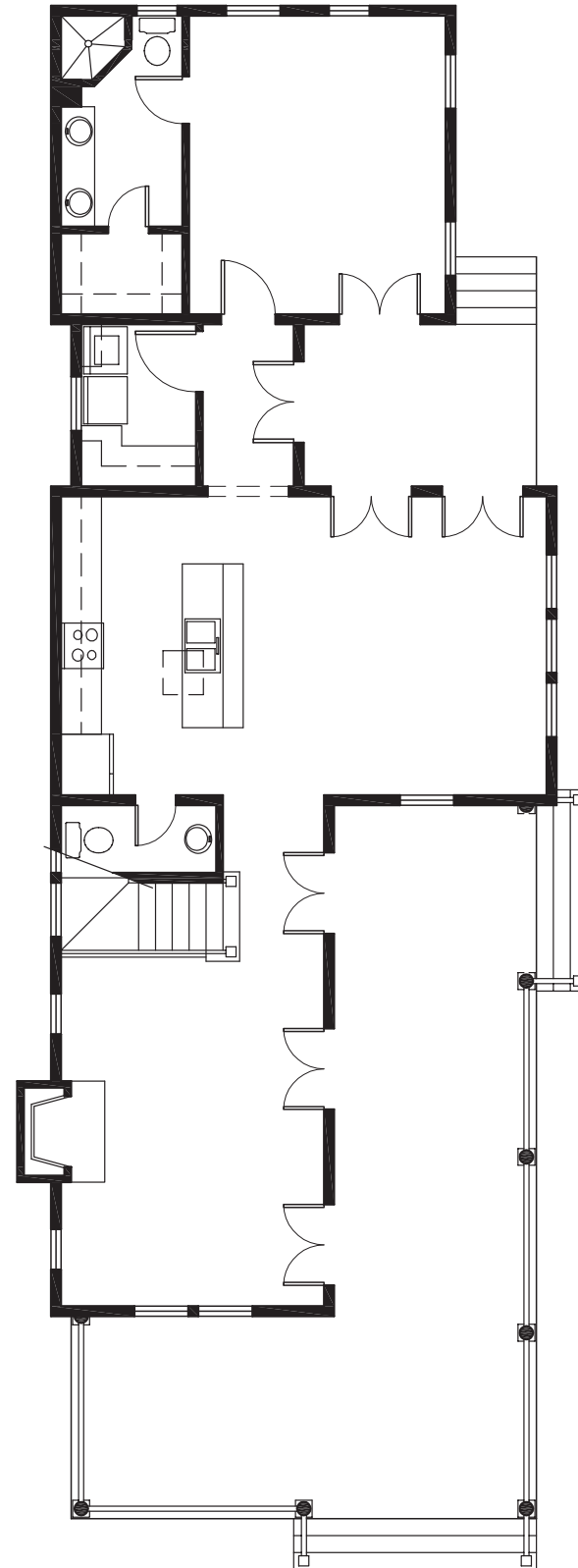
FIRST FLOOR HEATED = 1154/ 754 S.F.  
SECOND FLOOR HEATED = 683 S.F.  
TOTAL HEATED = 1837/ 1430 S.F.



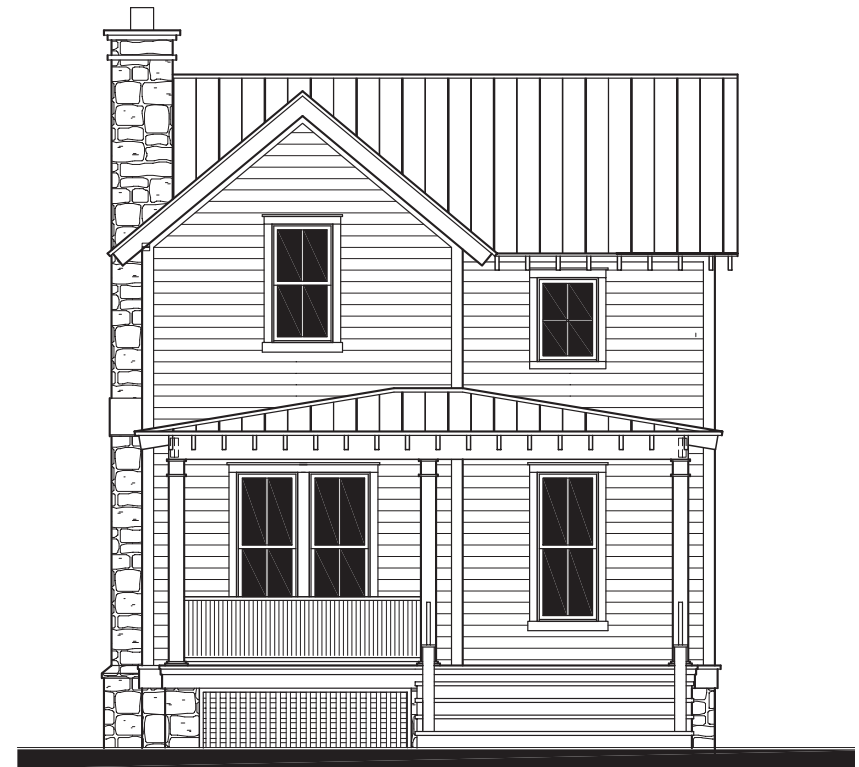
SECOND FLOOR PLAN



FIRST FLOOR PLAN ALT.



FIRST FLOOR PLAN



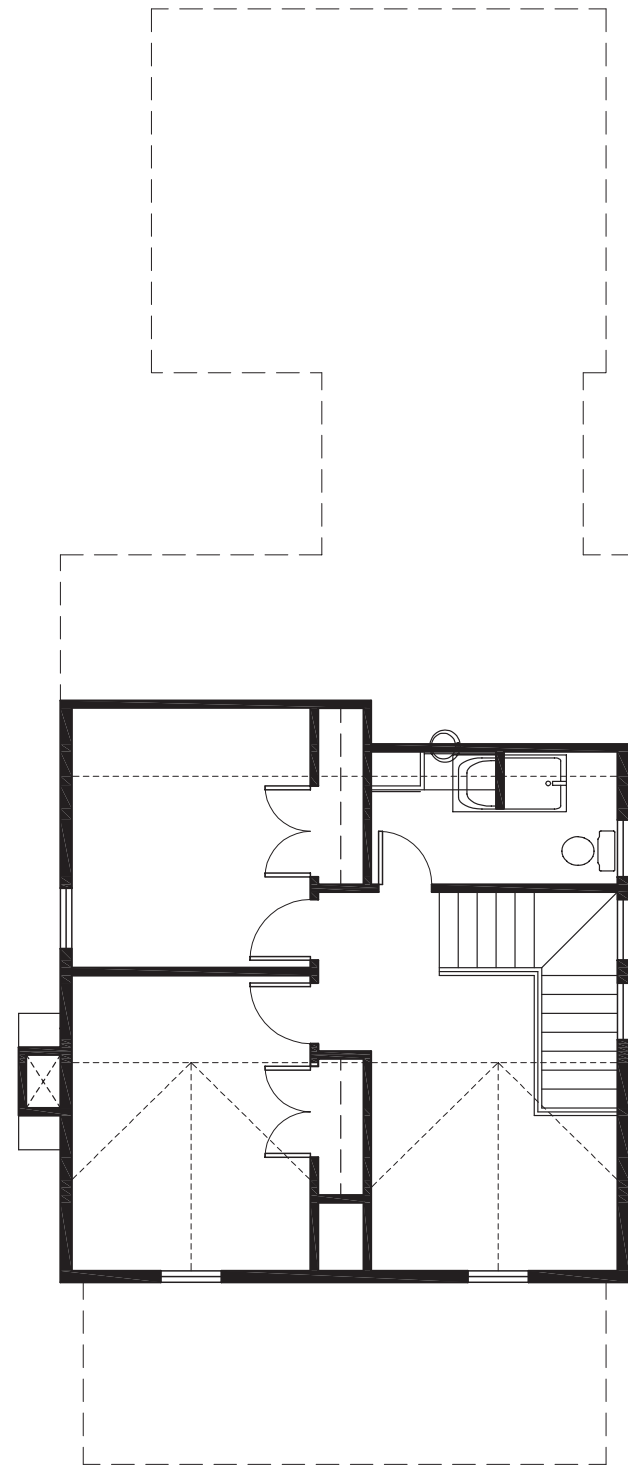
FRONT ELEVATION

GRAPHIC SCALE



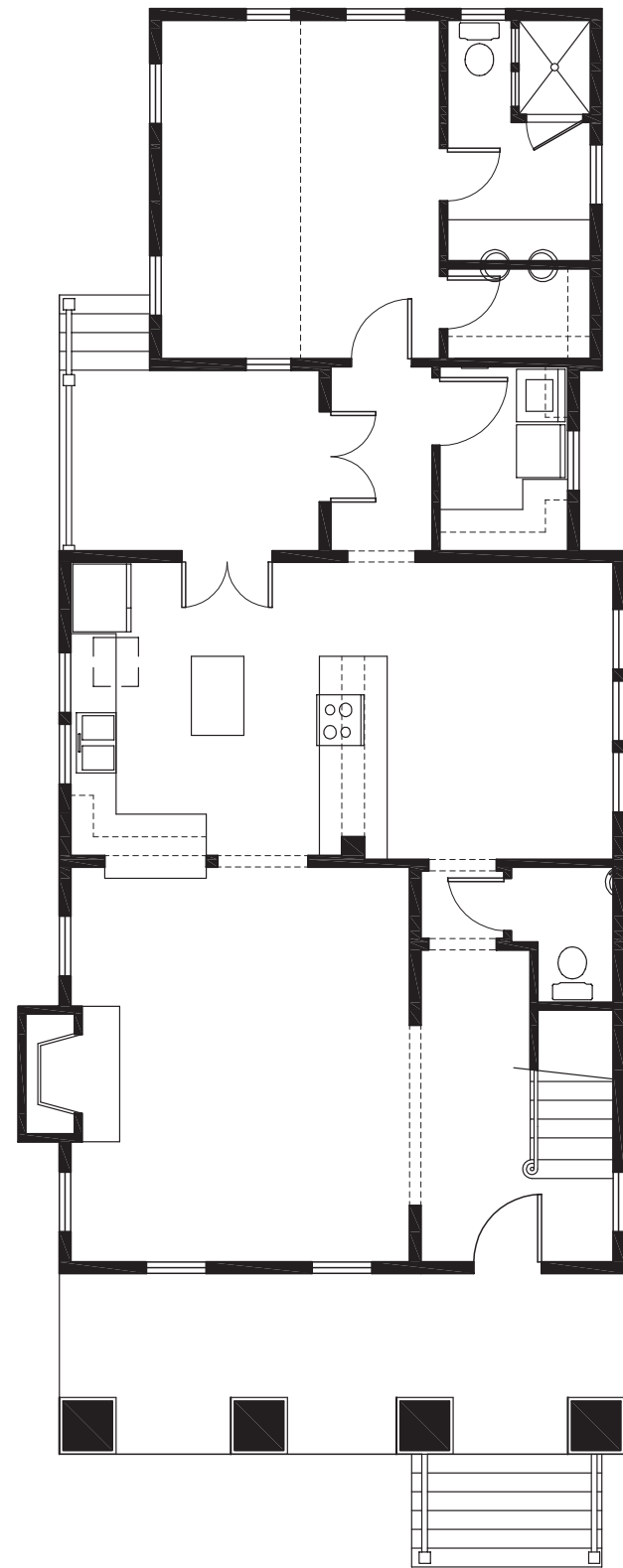
# House D

FIRST FLOOR HEATED = 1213 S.F.  
SECOND FLOOR HEATED = 561 S.F.  
TOTAL HEATED = 1774 S.F.



SECOND FLOOR PLAN

1' 2' 4' 8'



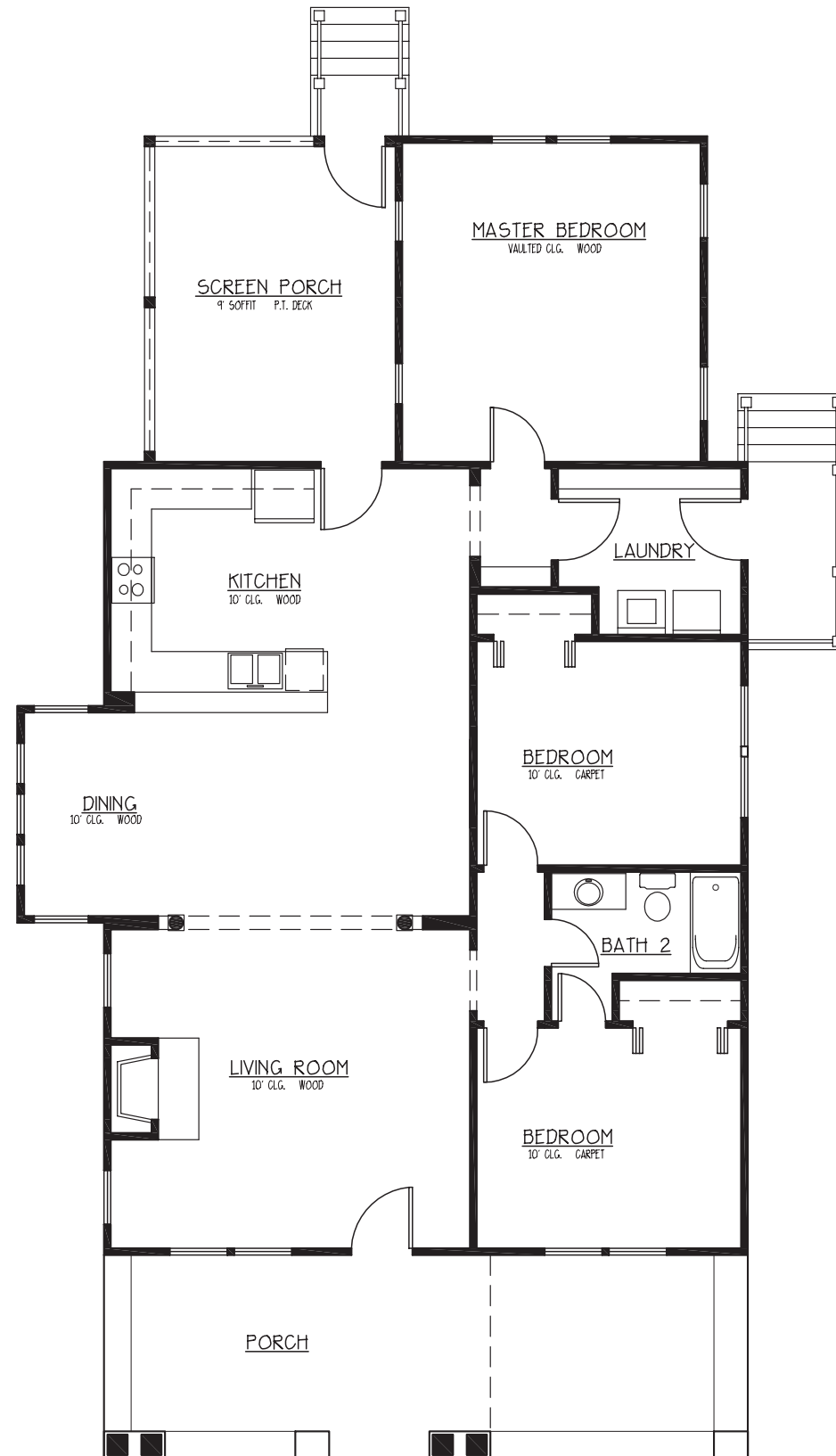
FIRST FLOOR PLAN

1' 2' 4' 8'



FRONT ELEVATION

1' 2' 4' 8'



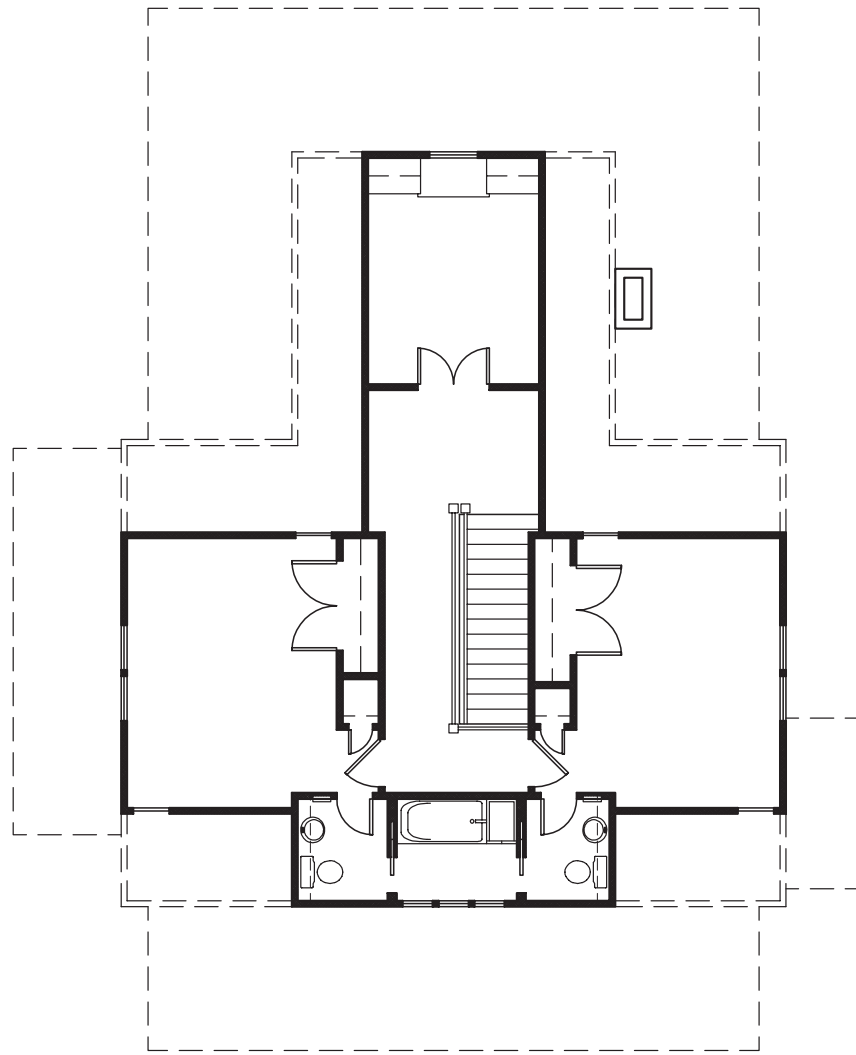
FIRST FLOOR PLAN



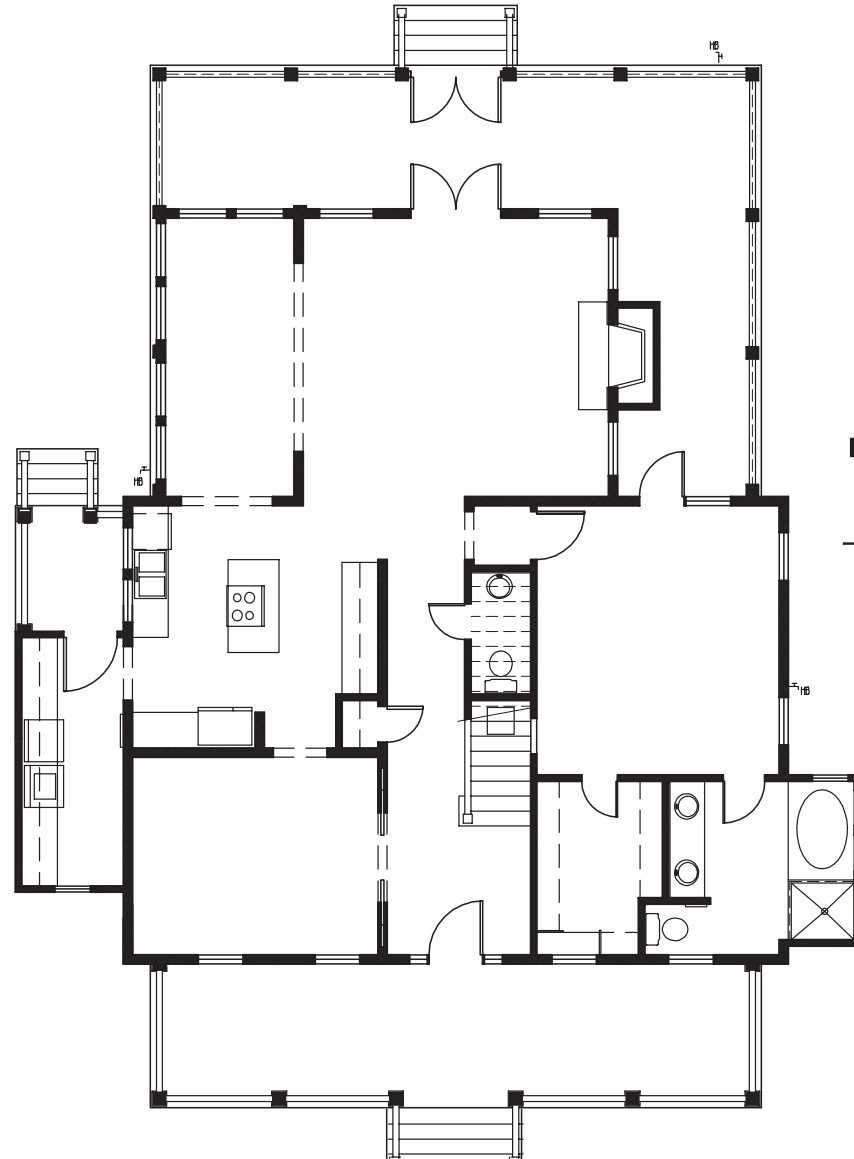
FRONT ELEVATION

# House F

FIRST FLOOR HEATED = 1497 S.F.  
SECOND FLOOR HEATED = 836 S.F.  
TOTAL HEATED = 2333 S.F.



SECOND FLOOR PLAN



FIRST FLOOR PLAN



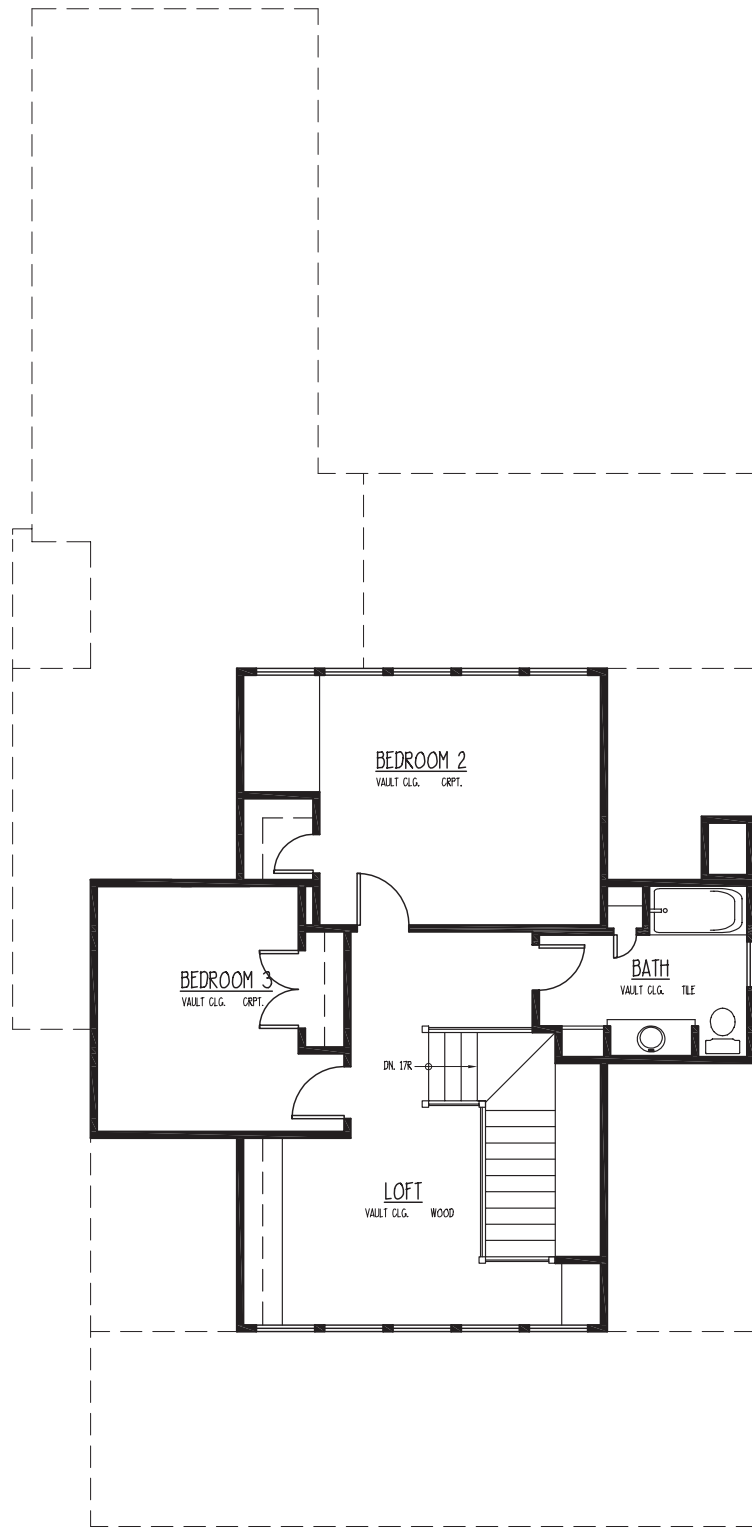
FRONT ELEVATION



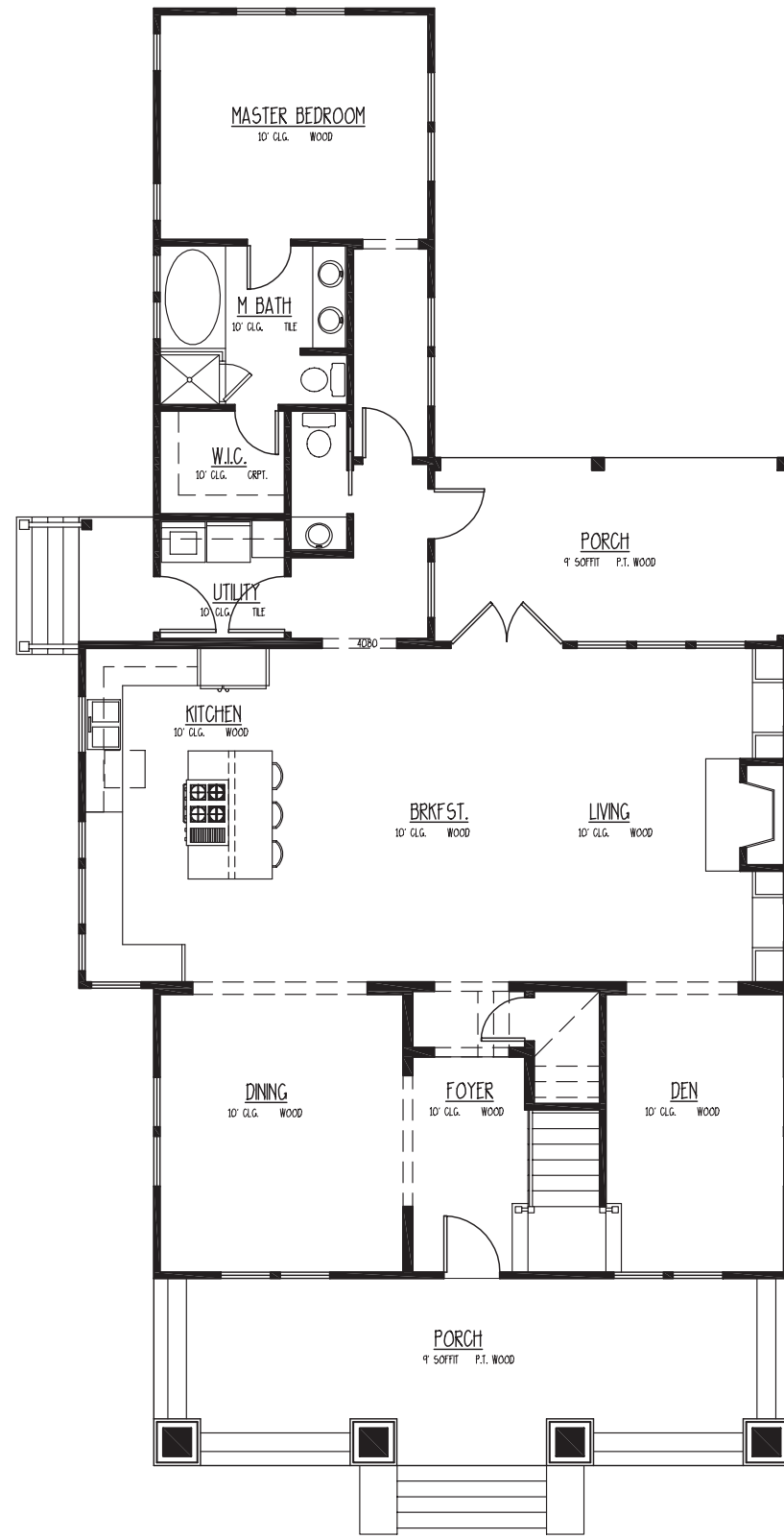
FRONT ELEVATION ALT.

# House G

First Fl. Htd.-1525 sq. ft.  
 Second Fl. htd.-668 sq. ft.  
 Total Htd.- 2193 sq. ft.



SECOND FLR. PLN. 2' 8' 1' 4'



FIRST FLOOR PLAN 2' 8' 1' 4'

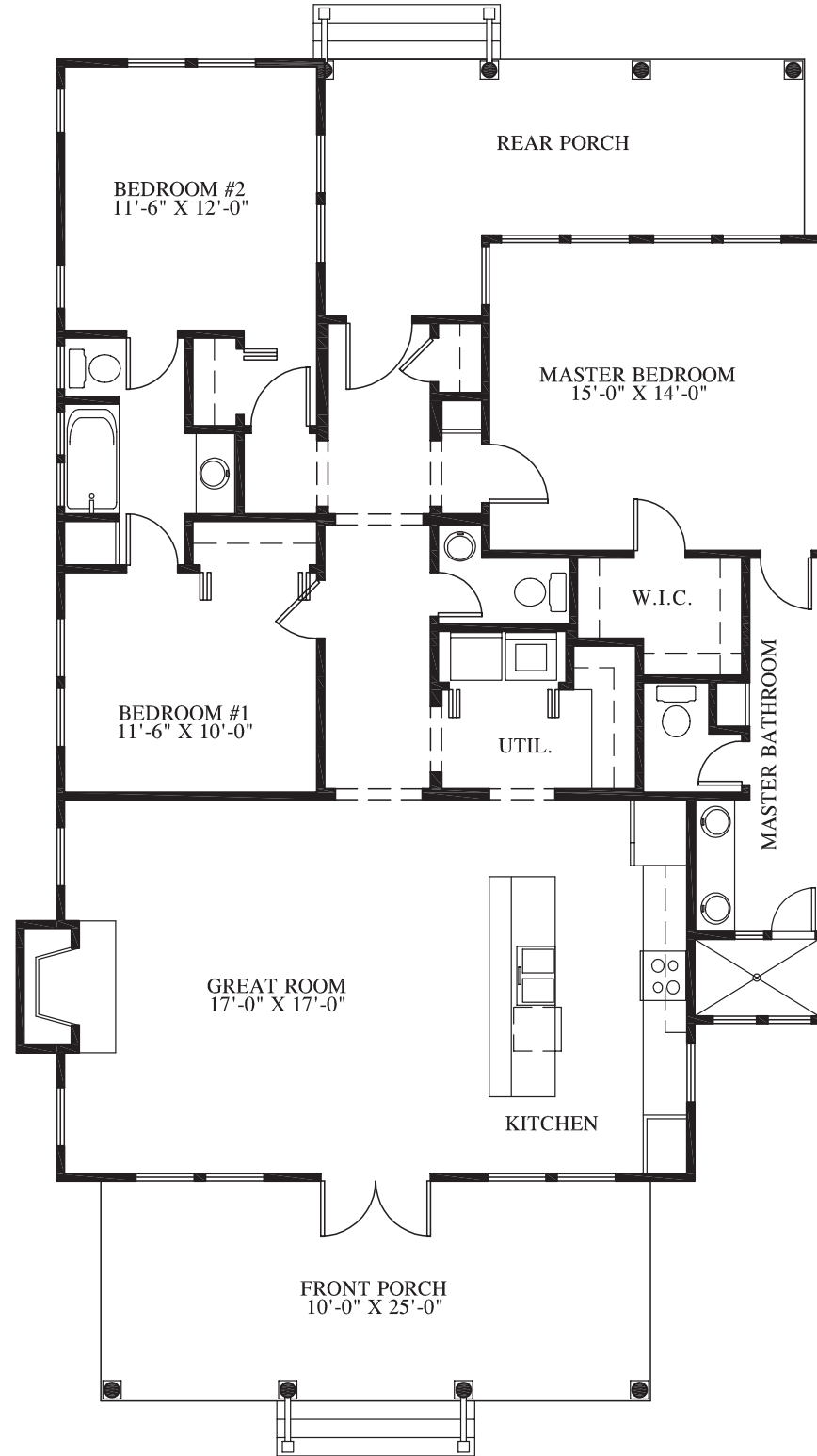


FRONT ELEVATION



FRONT ELEVATION ALT.





FIRST FLOOR



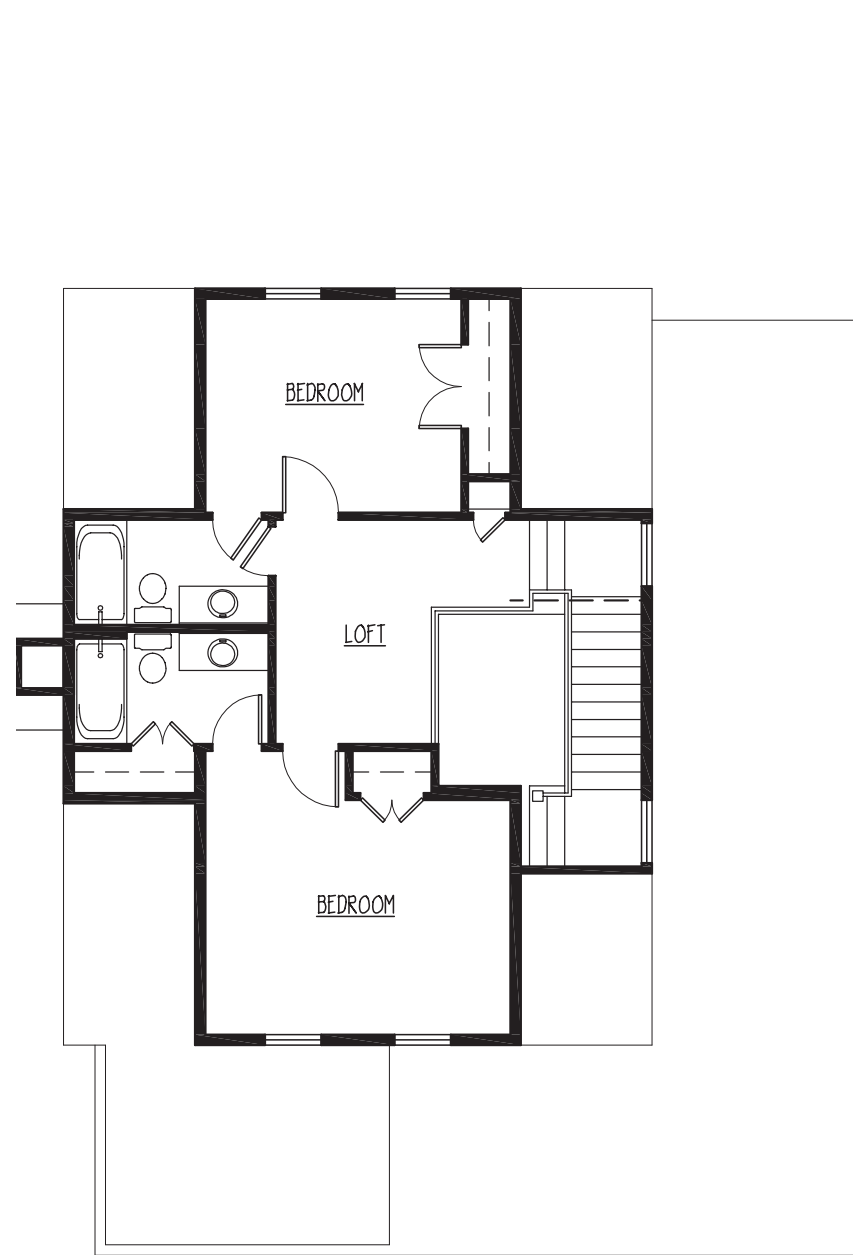
ELEVATION



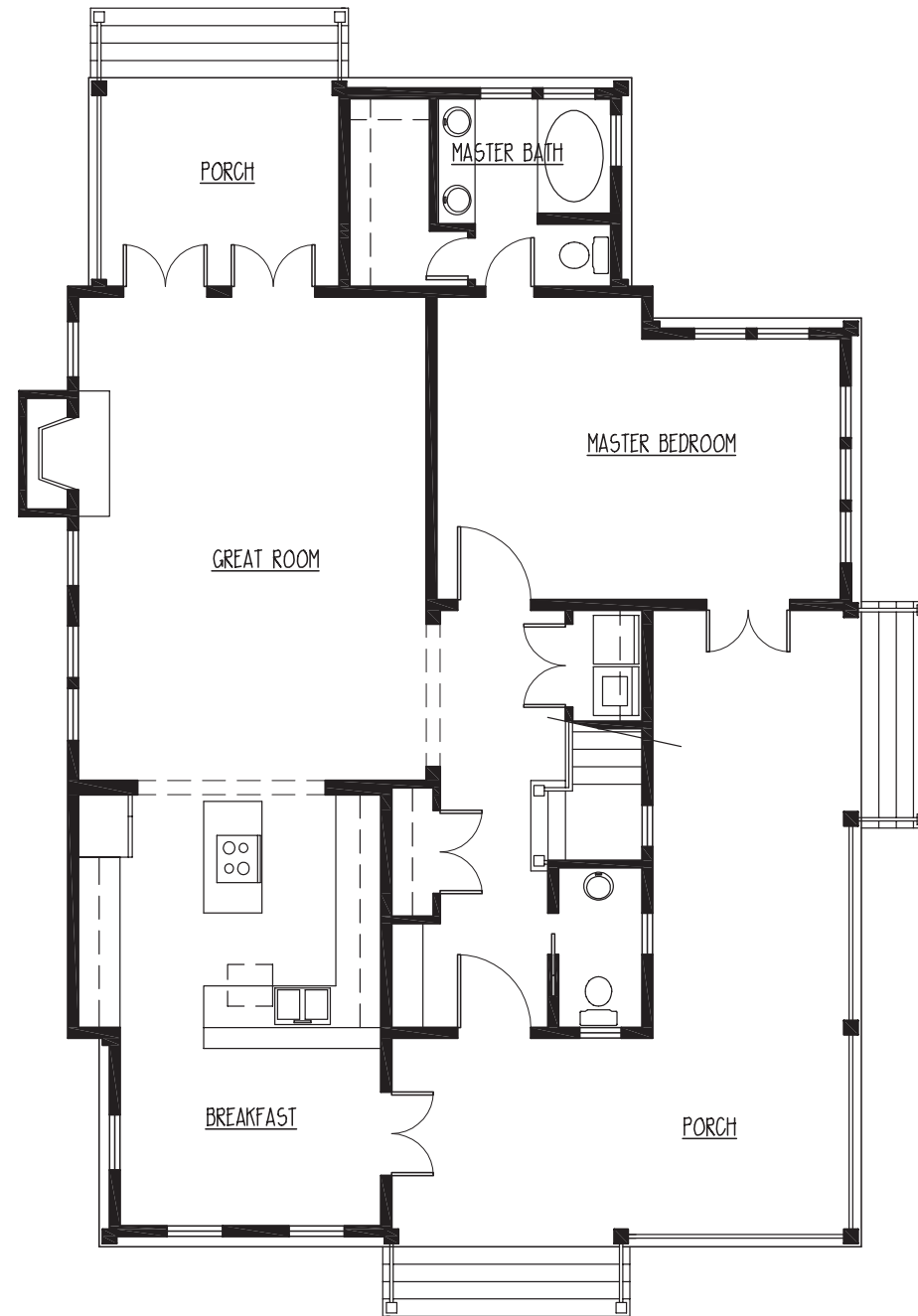


# House I

First Floor Heated - 1393 sq. ft.  
Second Floor Heated - 616 sq. ft.  
Total Heated - 2009 sq. ft.



SECOND FLOOR PLAN



FIRST FLOOR PLAN

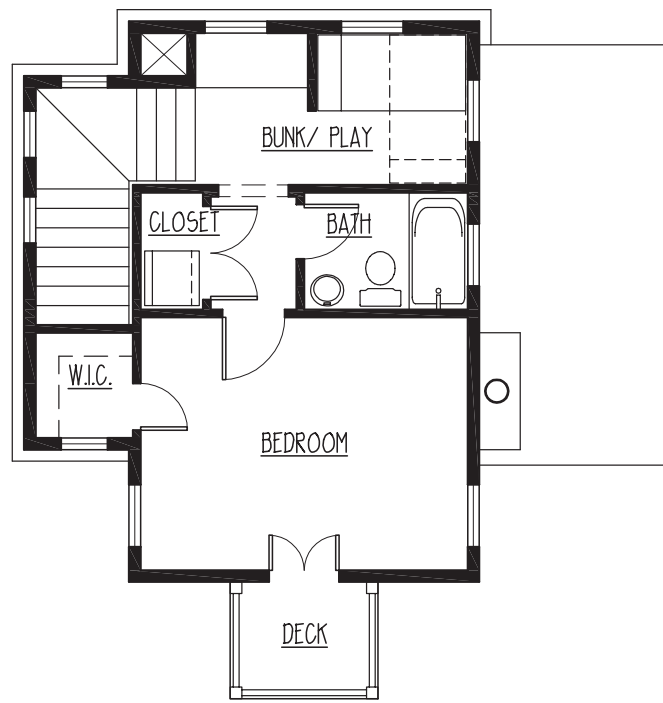


ELEVATION

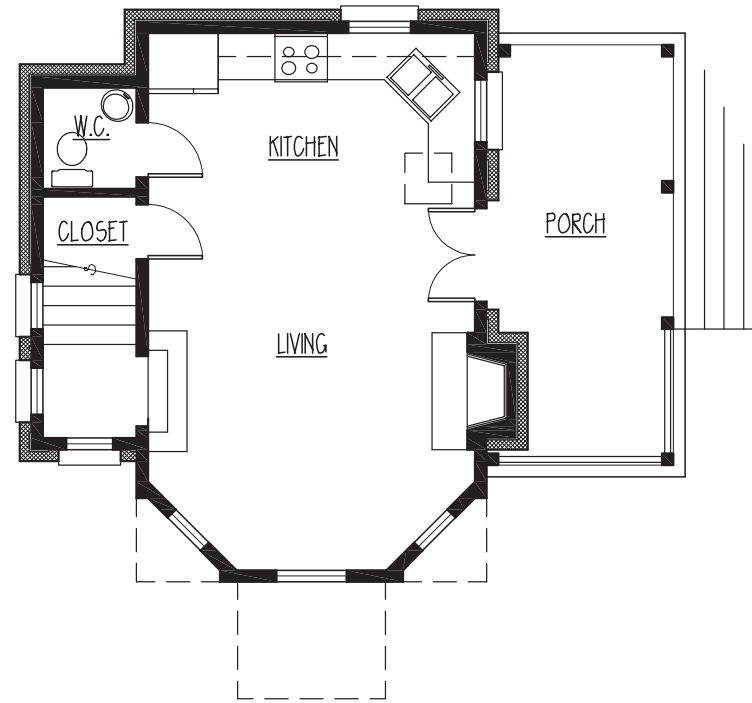


# House J

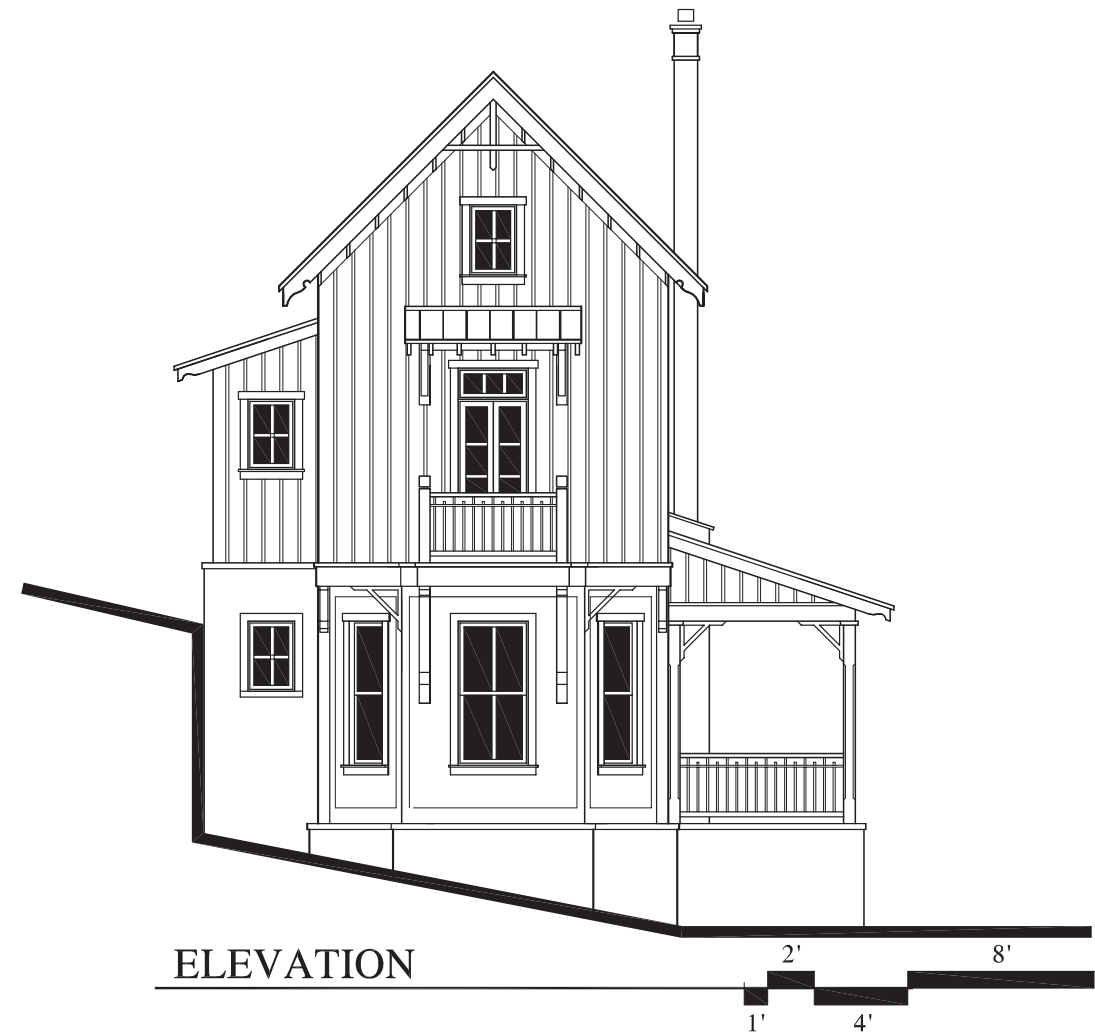
First Floor Heated - 435 sq. ft.  
Second Floor Heated - 366 sq. ft.  
Total Heated - 801 sq. ft.



SECOND FLOOR PLAN



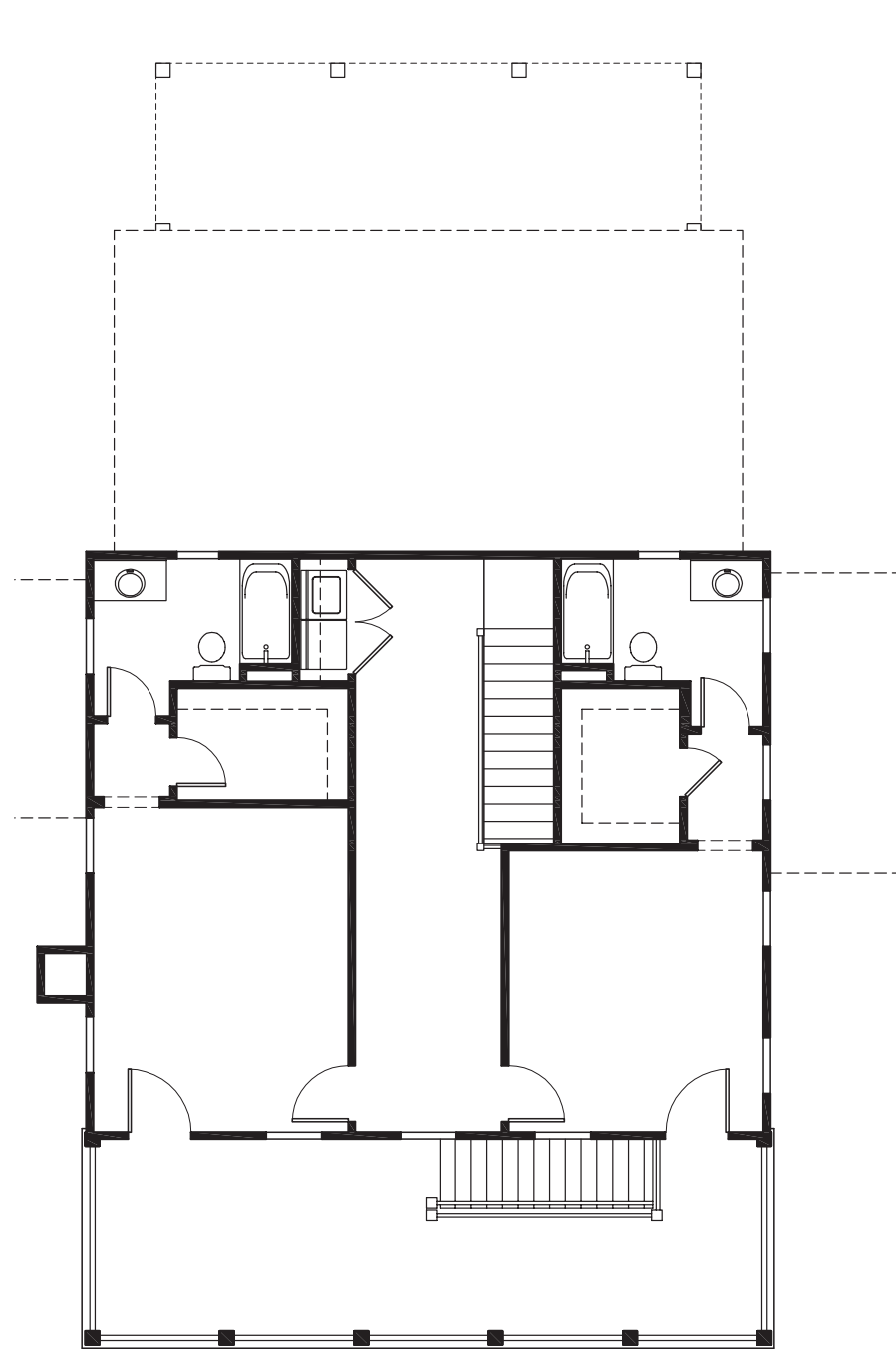
FIRST FLOOR PLAN



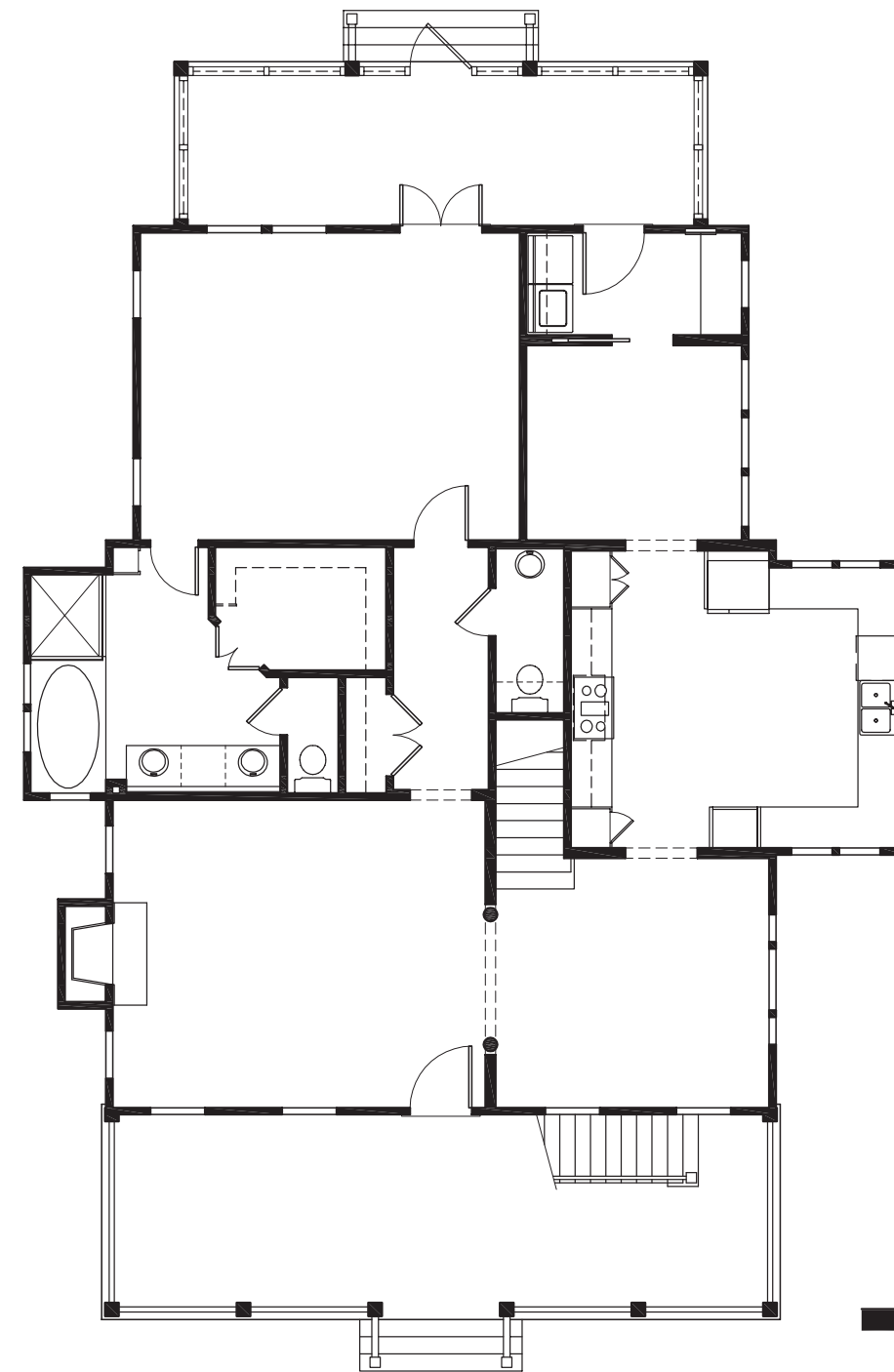
ELEVATION

# House K

First Floor Heated - 1511 sq. ft.  
Second Floor Heated - 868 sq. ft.  
Total Heated - 2379 sq. ft.



SECOND FLOOR PLAN



FIRST FLOOR PLAN

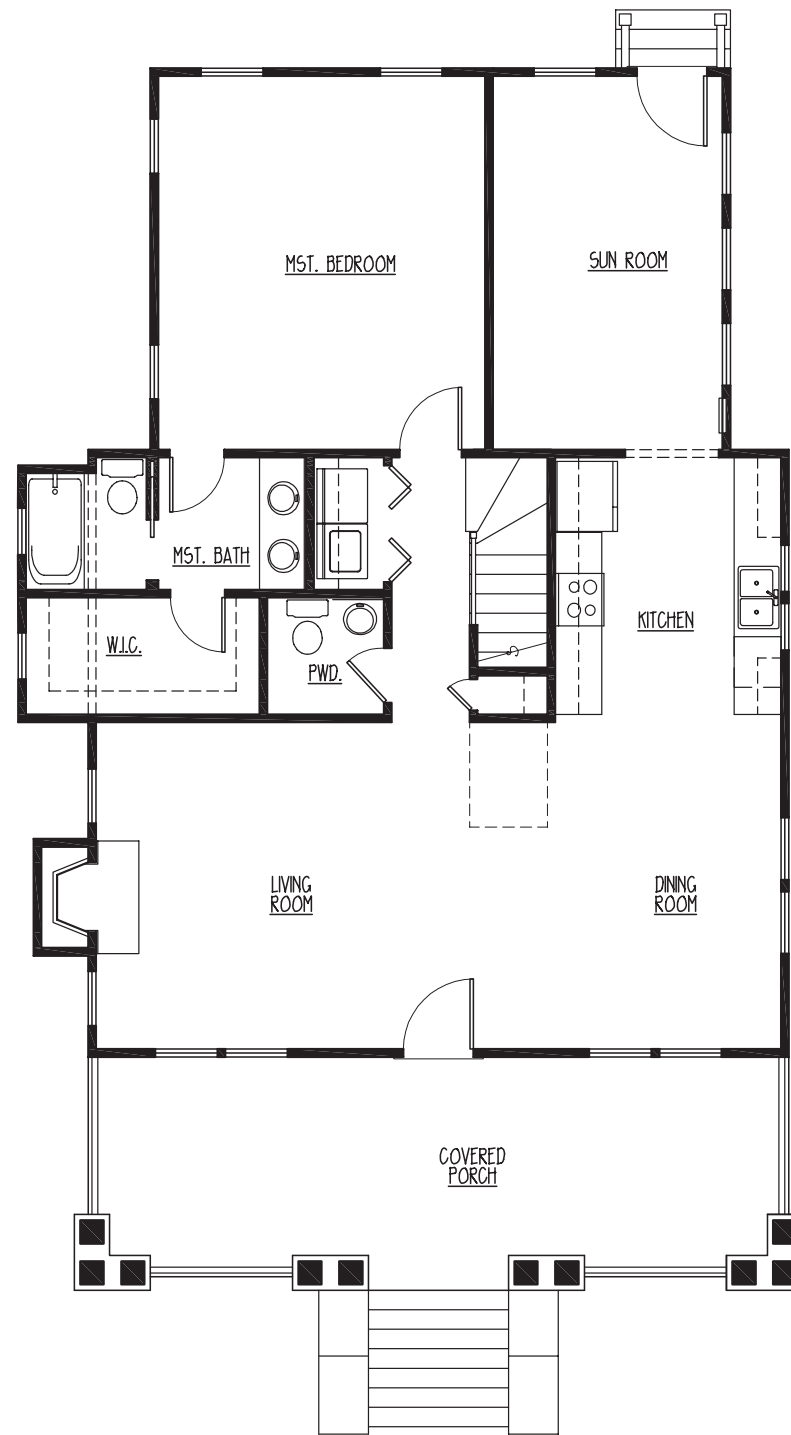
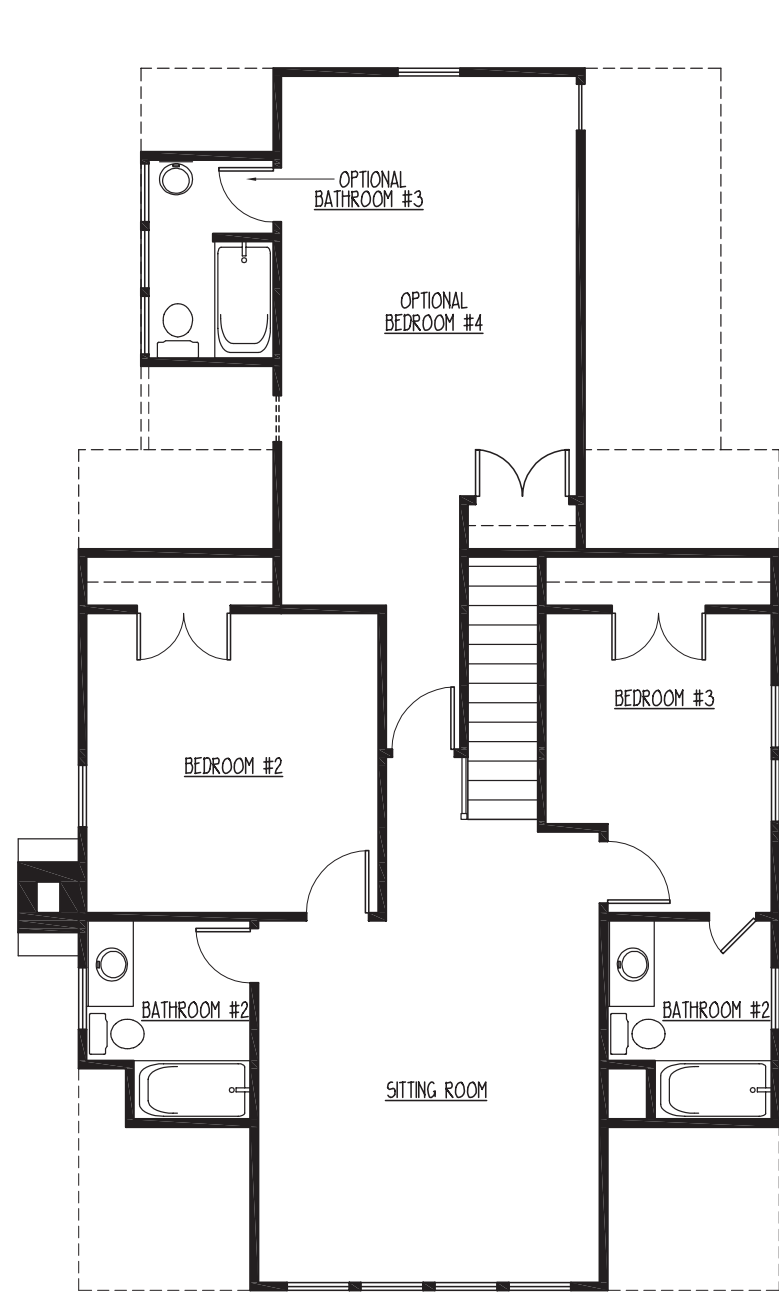


ELEVATION



# House L

First Floor Heated - 1230 sq. ft.  
Second Floor Heated - 1142 sq. ft.  
Total Heated - 2372 sq. ft.



SECOND FLOOR PLAN

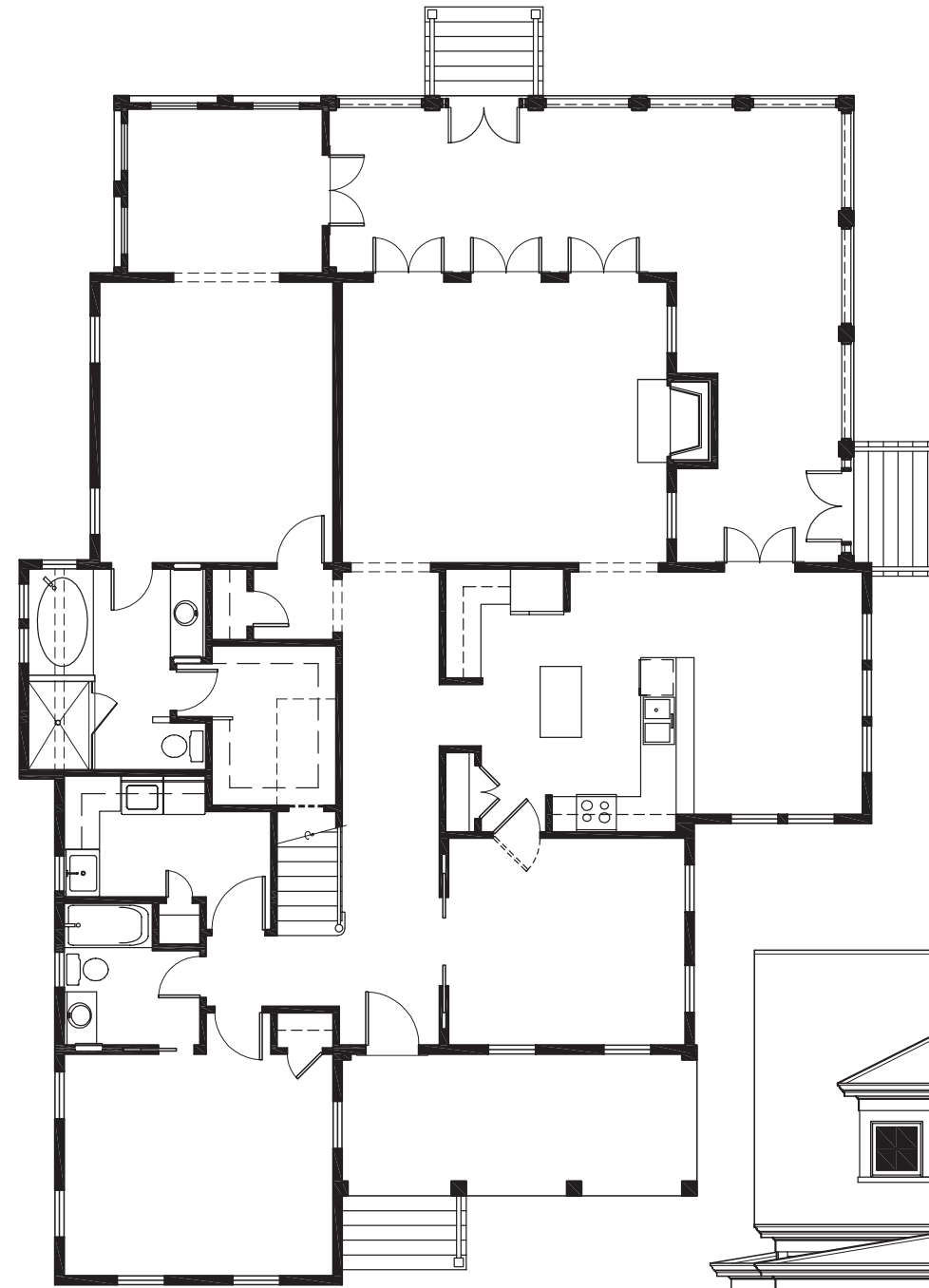
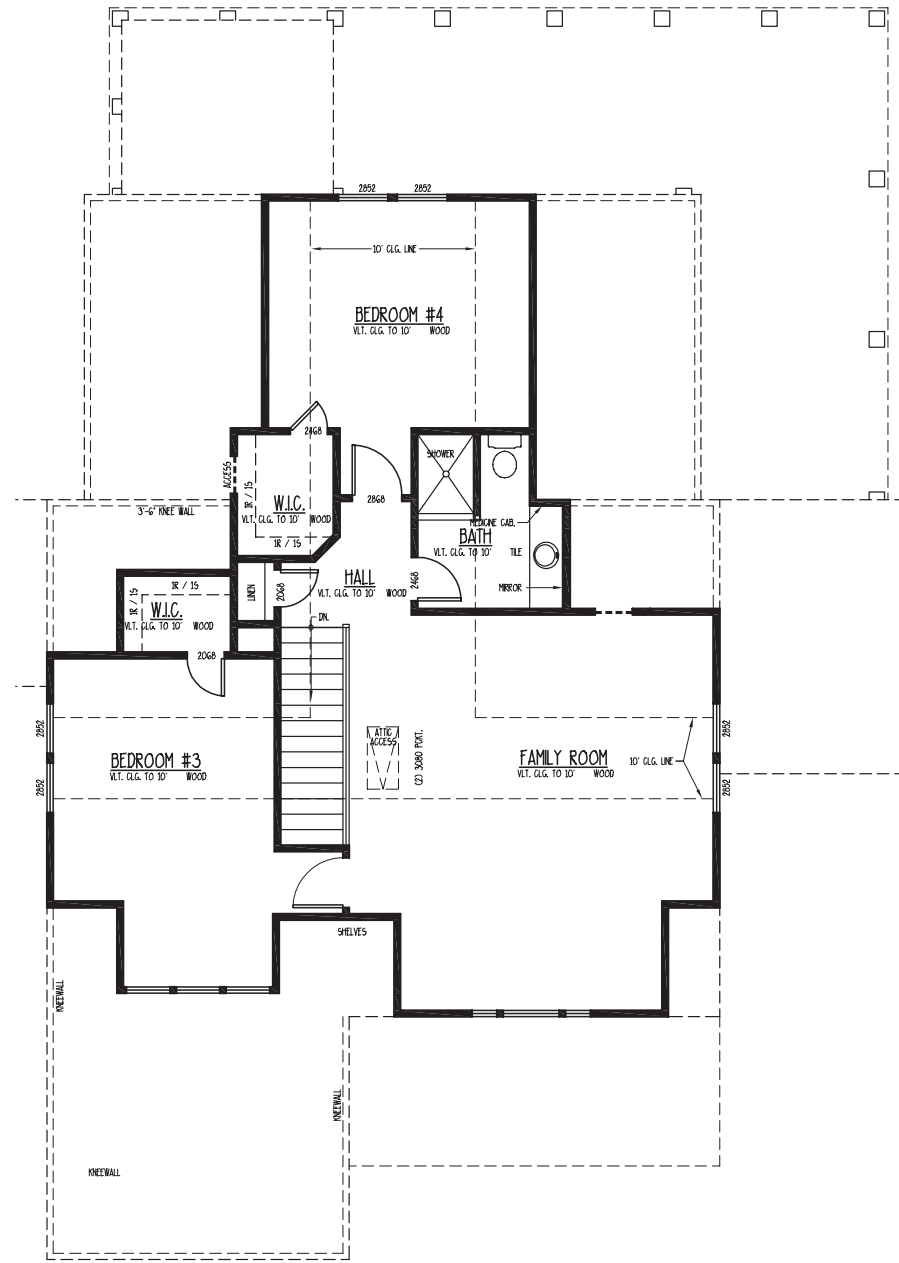
FIRST FLOOR PLAN

ELEVATION



# House M

First Floor Heated - 2029 sq. ft.  
 Second Floor Heated - 1061 sq. ft.  
 Total Heated - 3090 sq. ft.



SECOND FLOOR PLAN

FIRST FLOOR PLAN

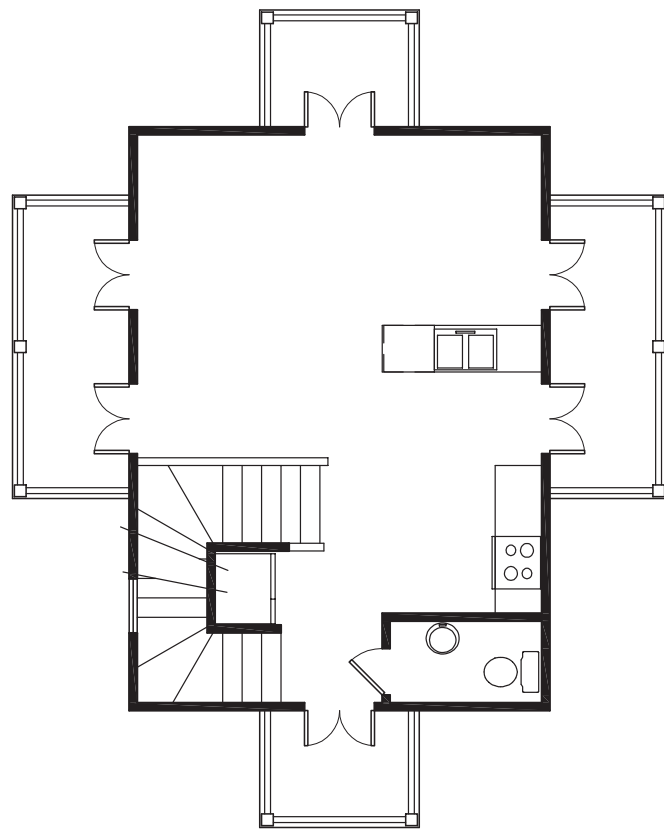


ELEVATION

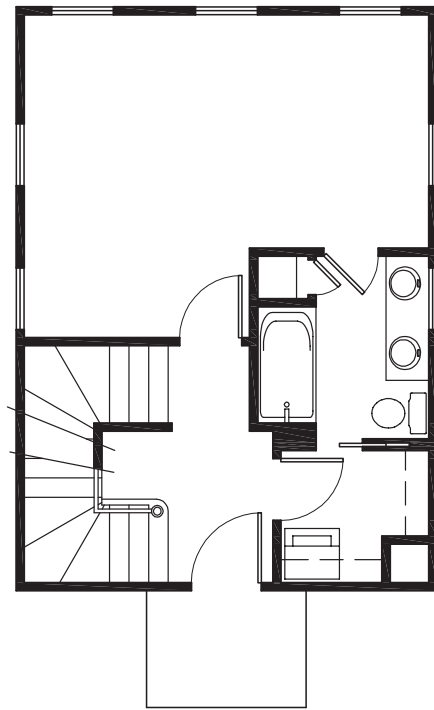


# House N

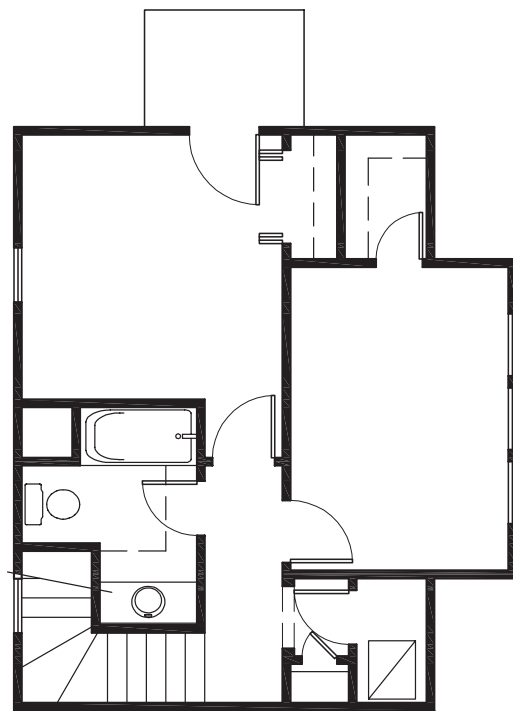
Ground Floor Heated - 500 sq. ft.  
First Floor Heated - 385 sq. ft.  
Second Floor Heated - 390 sq. ft.  
Total Heated - 1275 sq. ft.



SECOND FLOOR PLAN



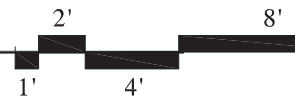
FIRST FLOOR PLAN



GROUND FLOOR PLAN

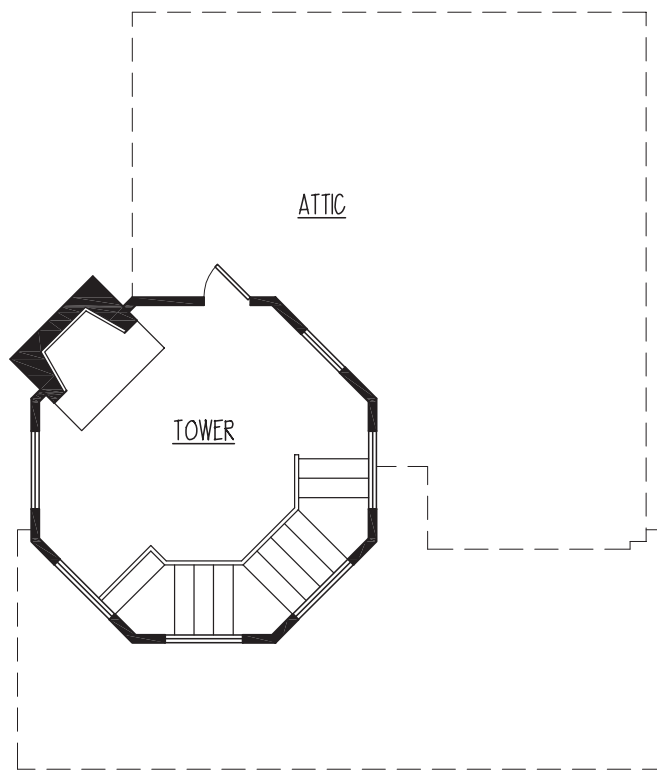


ELEVATION

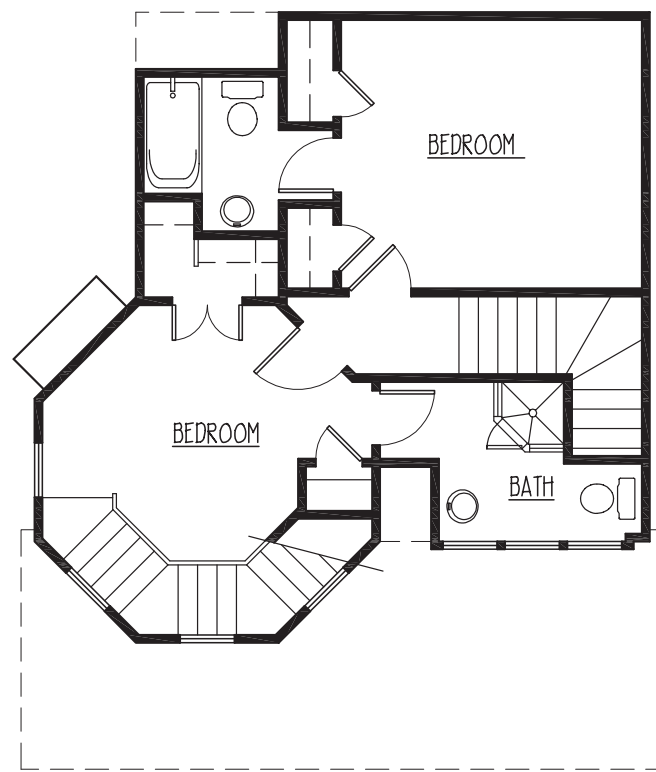


# House O

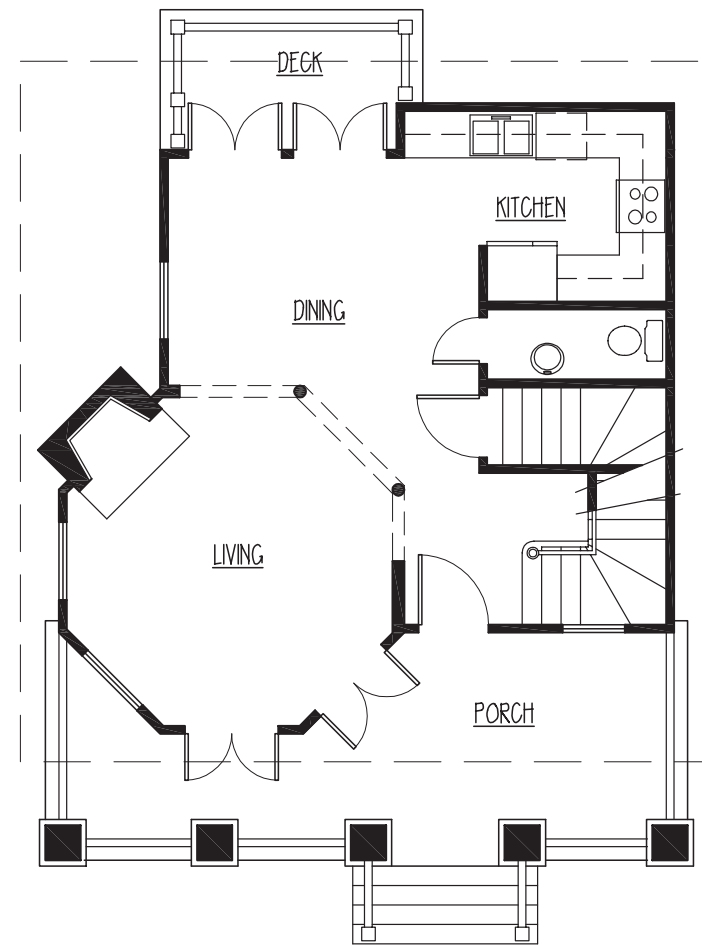
First Floor Heated - 559 sq. ft.  
Second Floor Heated - 519 sq. ft.  
Tower Heated - 134 sq. ft.  
Total Heated - 1212 sq. ft.



TOWER PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN

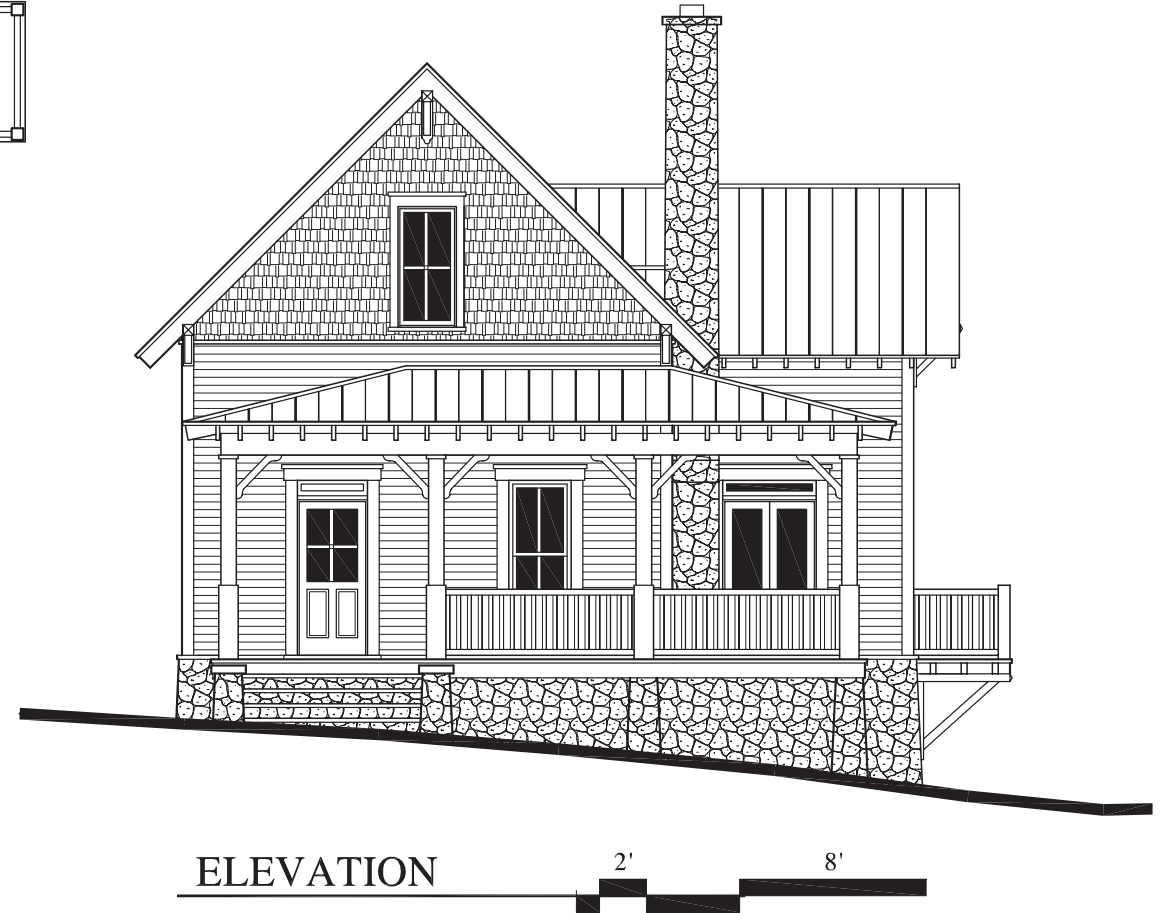
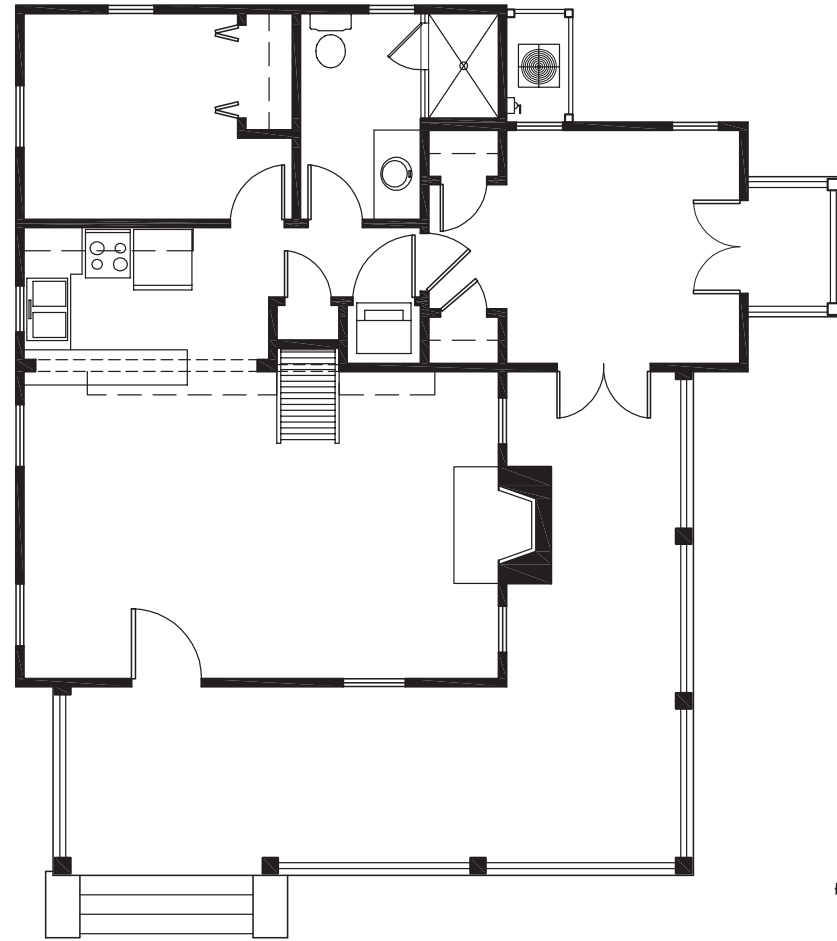
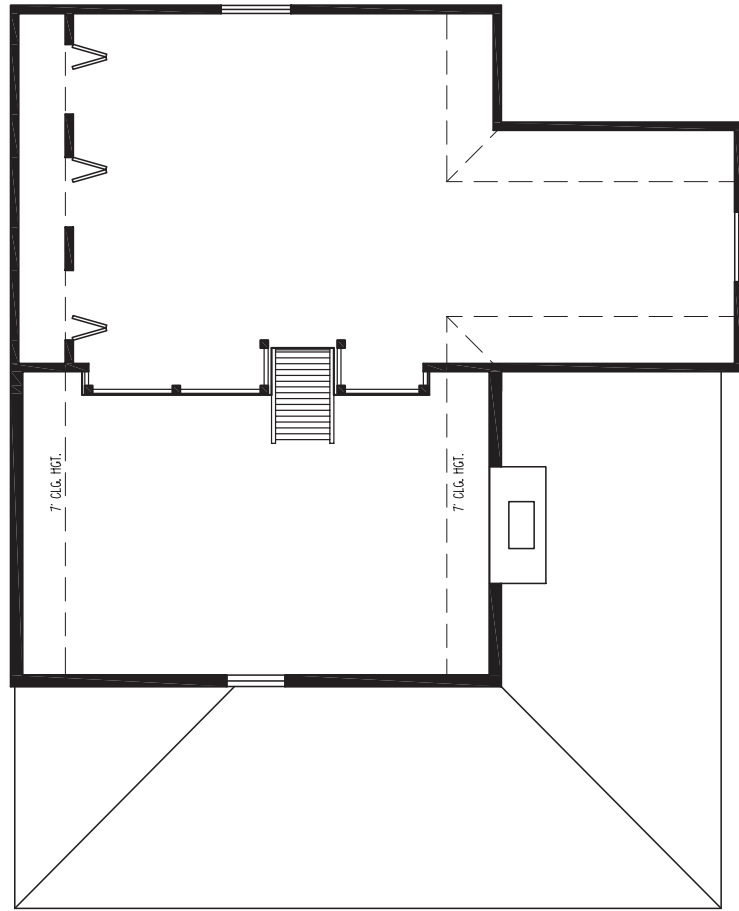


ELEVATION



# House P

First Floor Heated - 723sq. ft.  
Second Floor Heated - 454 sq. ft.  
Total Heated - 1177 sq. ft.



SECOND FLOOR PLAN

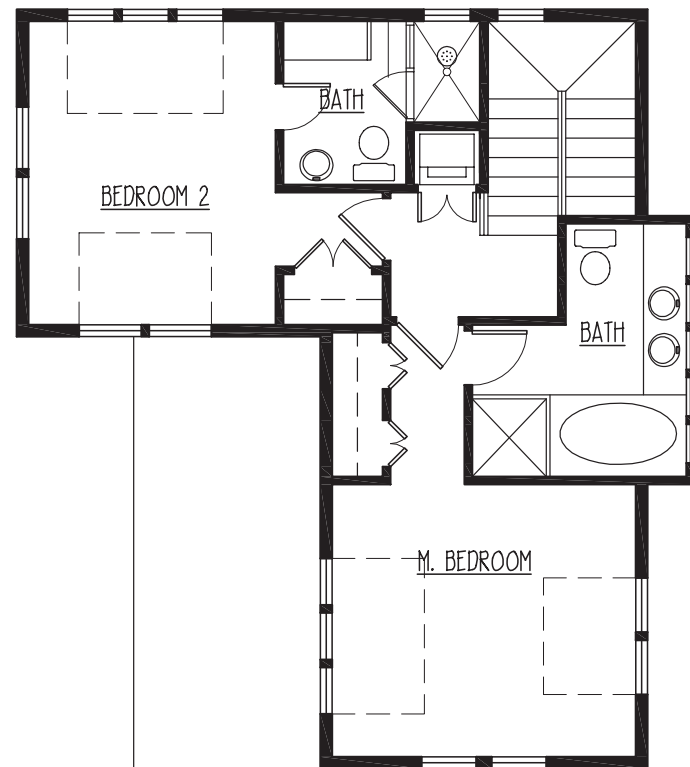
FIRST FLOOR PLAN

ELEVATION

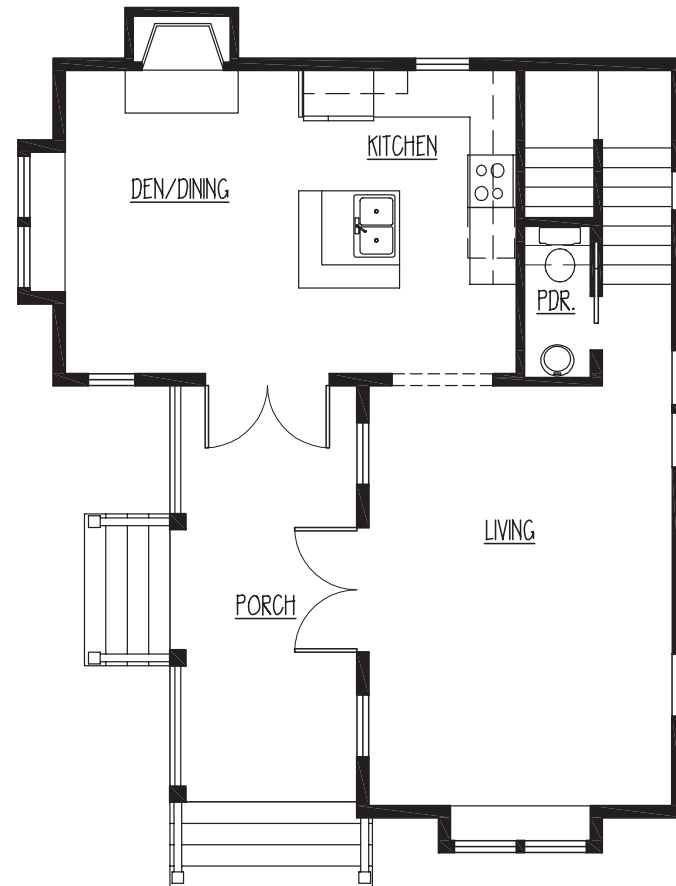


# House Q

First Floor Heated - 658 sq. ft.  
Second Floor Heated - 596 sq. ft.  
Total Heated - 1254 sq. ft.



SECOND FLOOR PLAN

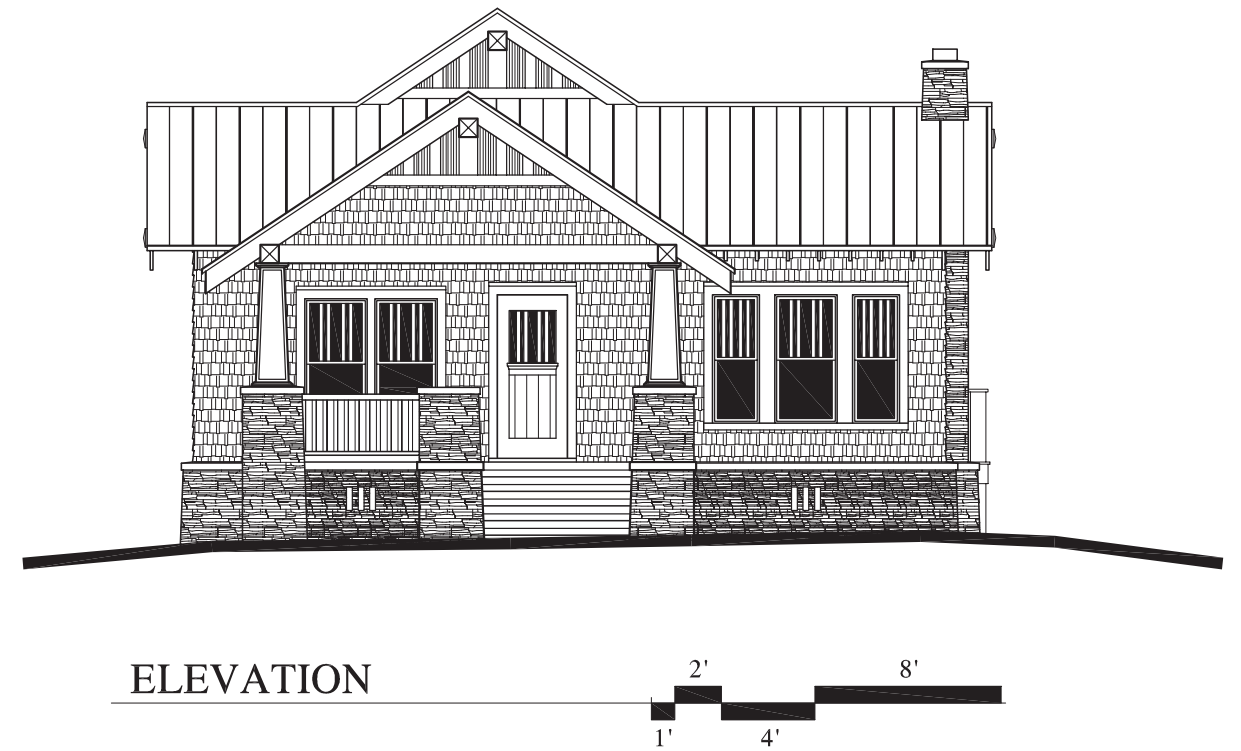
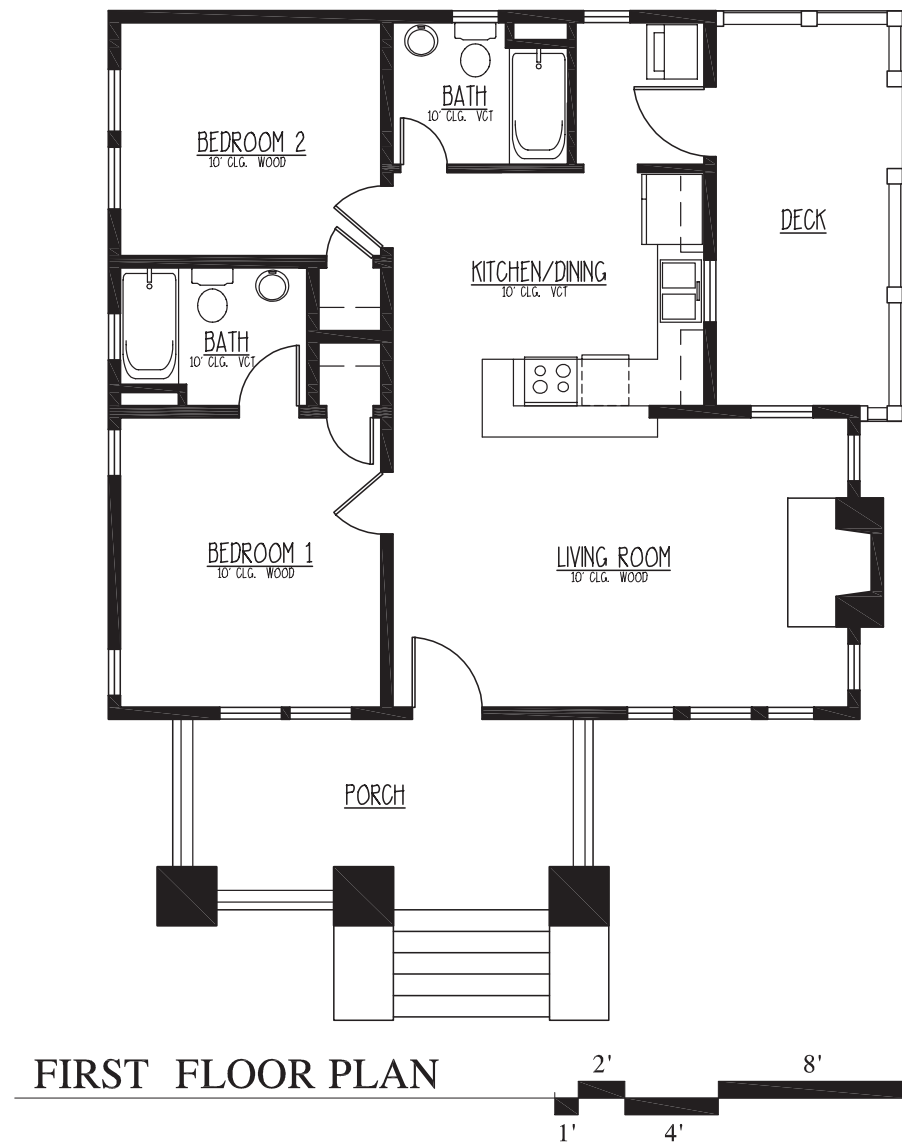


FIRST FLOOR PLAN

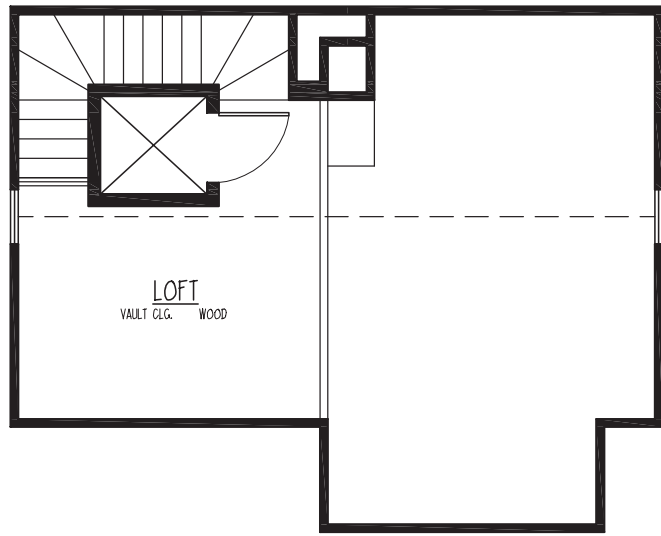


ELEVATION

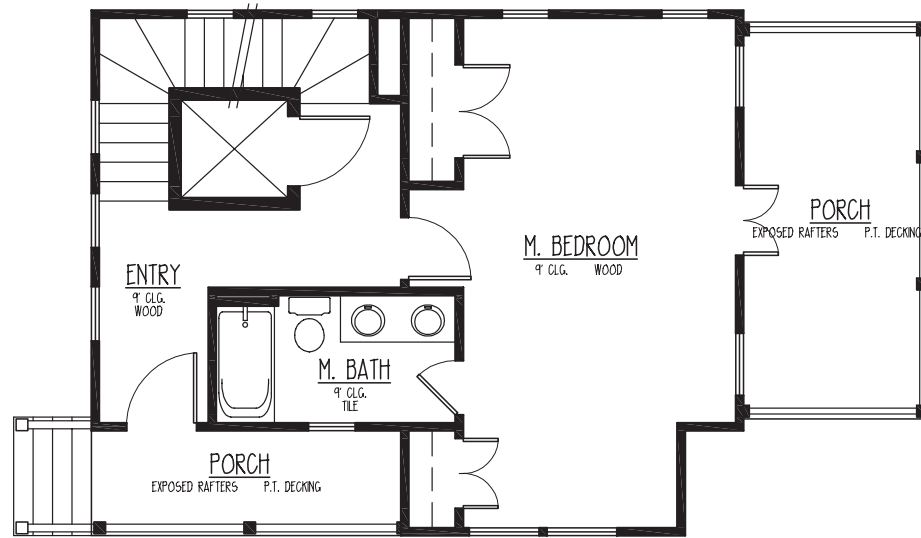




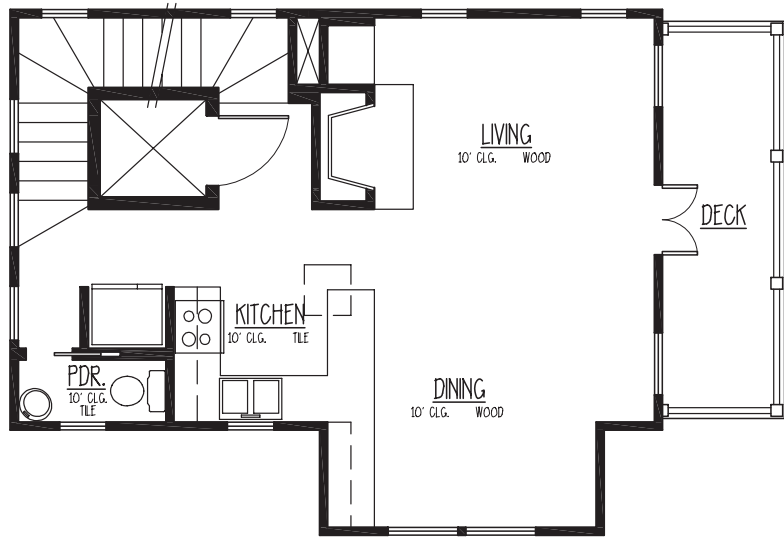
# House T



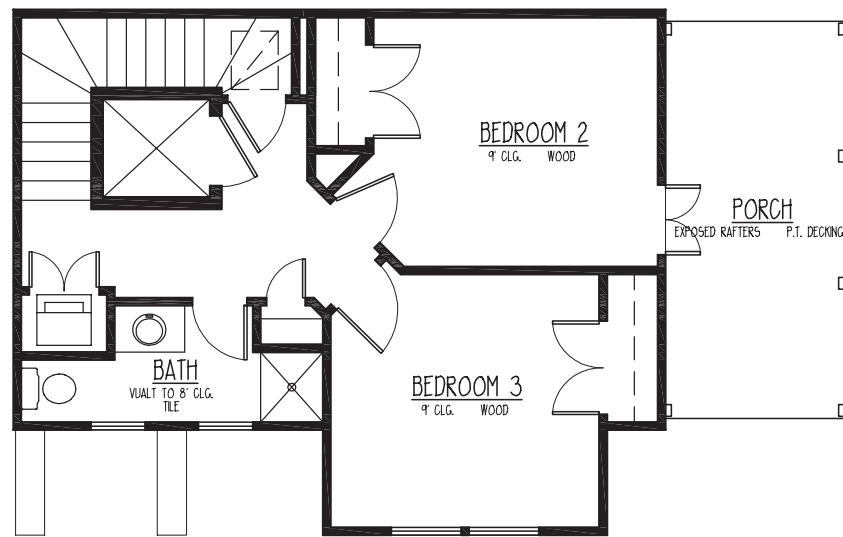
LOFT  
 1' 2' 4' 8'



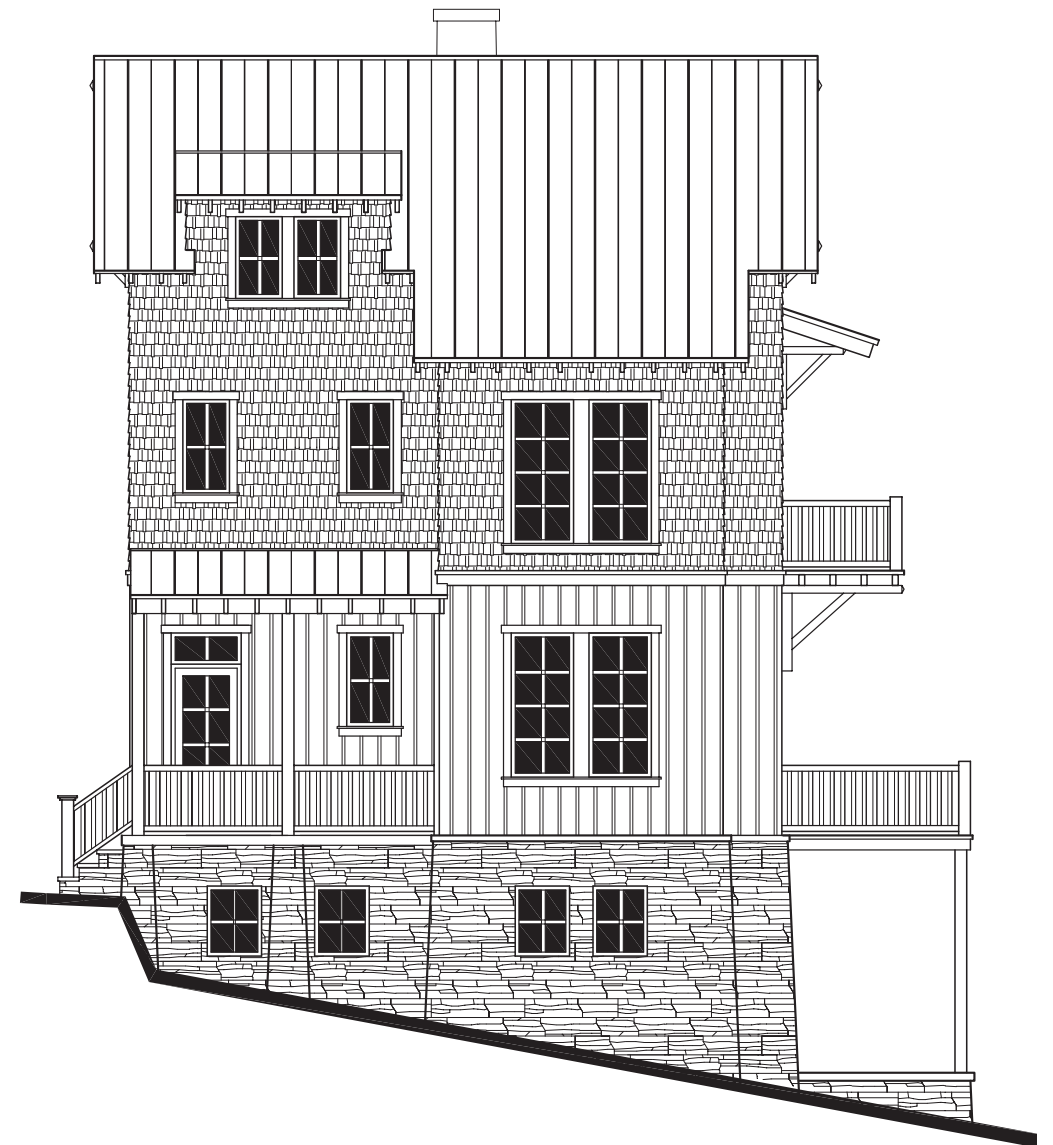
FIRST FLOOR  
 1' 2' 4' 8'



SECOND FLOOR  
 1' 2' 4' 8'



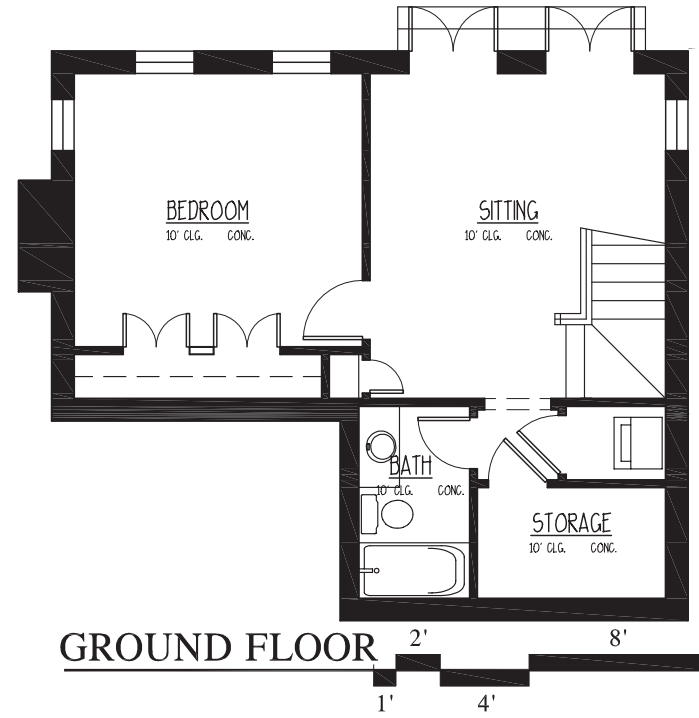
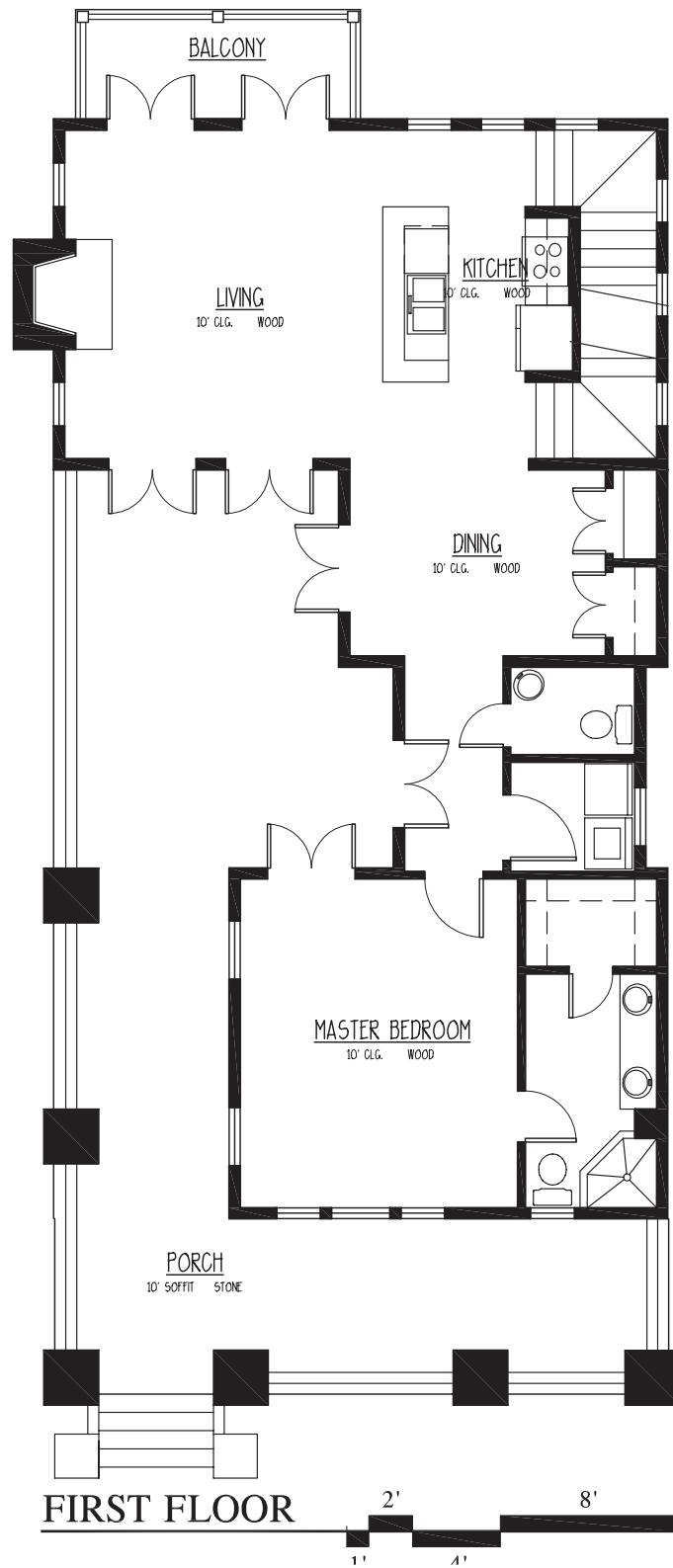
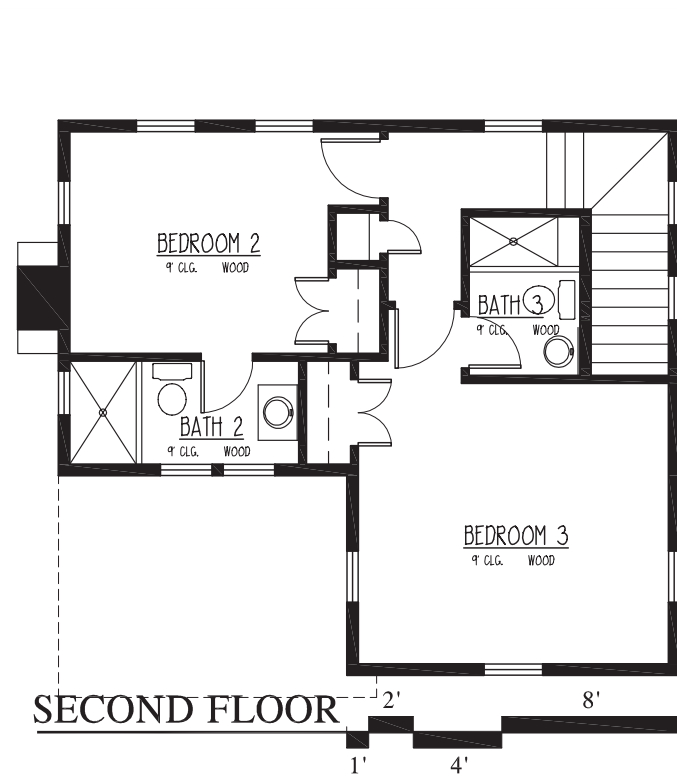
GROUND FLOOR  
 1' 2' 4' 8'



FRONT ELEVATION  
 1' 2' 4' 8'

# House U

Grnd. Fl. Htd.-620 sq.  
 First Fl. Htd.-1005 sq.  
 Second Fl. htd.-526 sq  
 Total Htd.- 2151 sq. ft



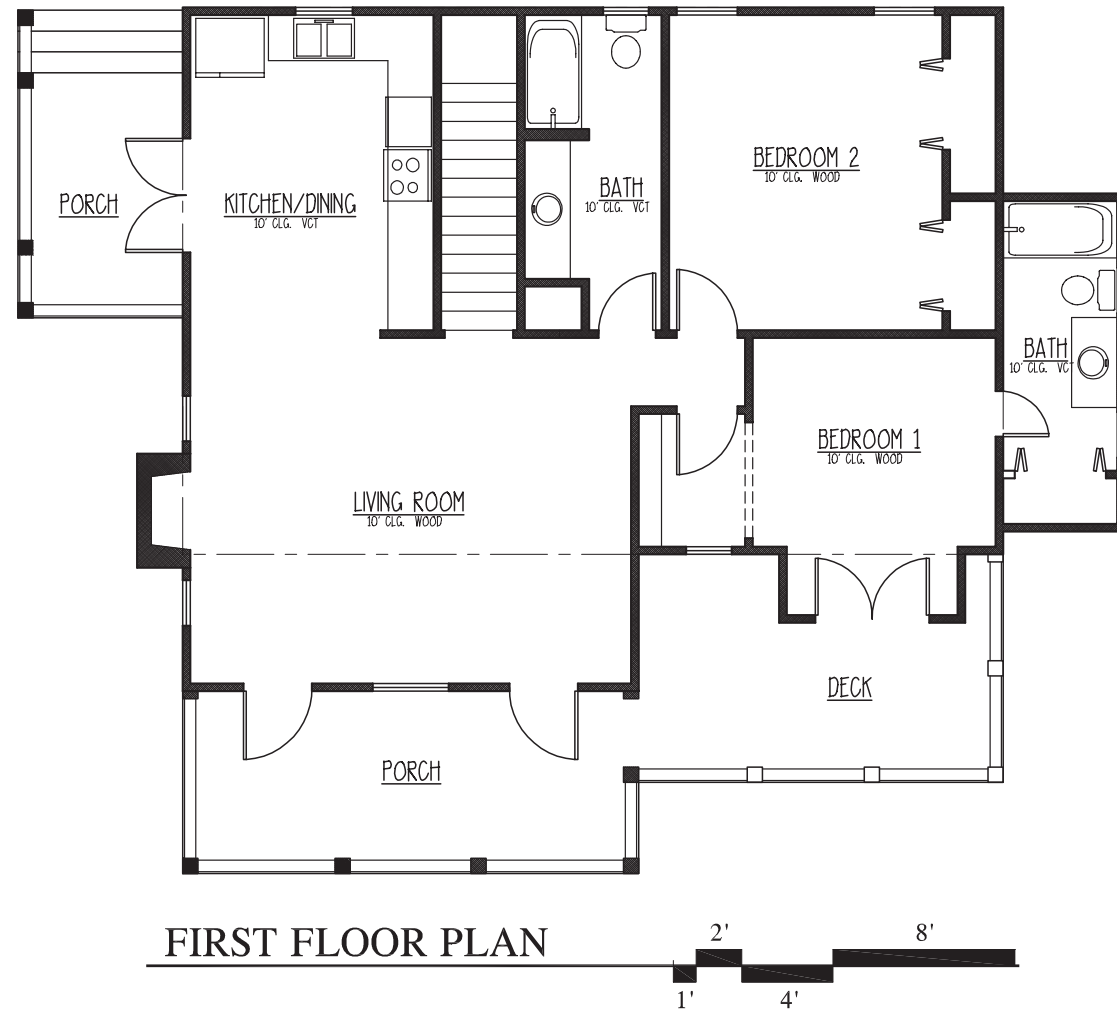
**ELEVATIONS**  
 2' 8'  
 1' 4'



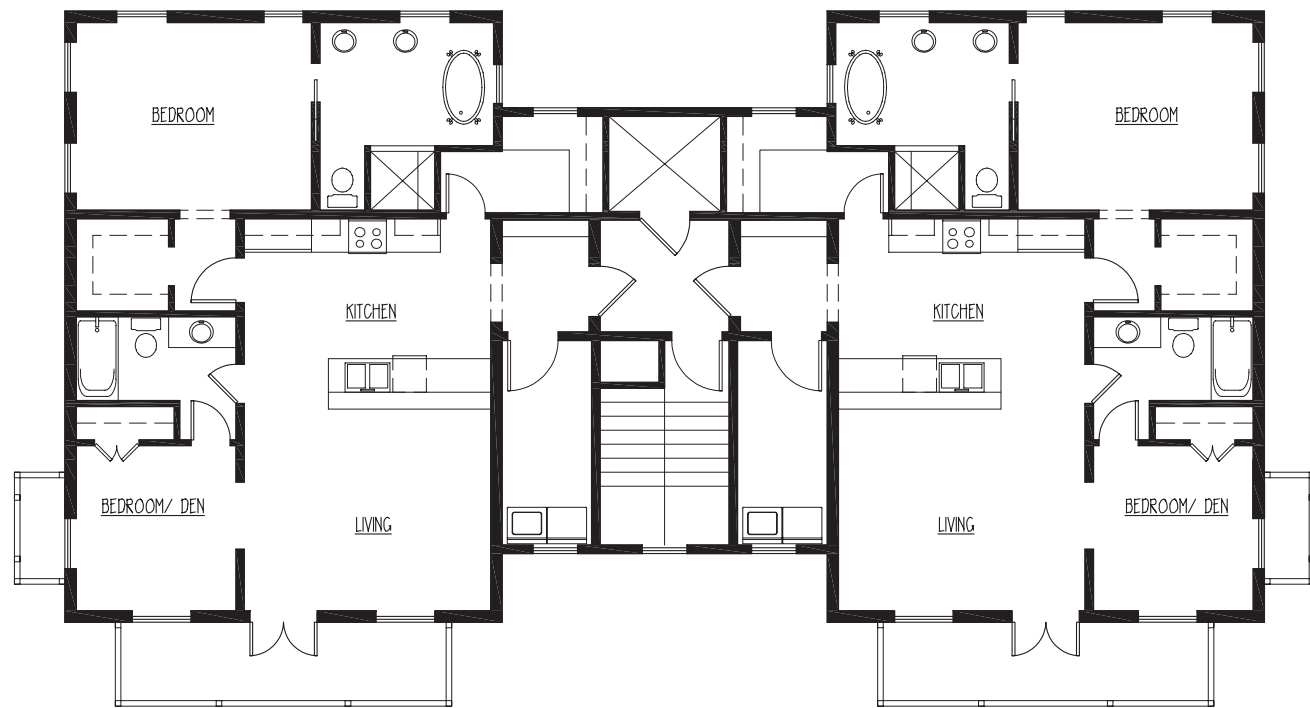
**ELEVATIONS**  
 2' 8'  
 1' 4'

**ARA**  
**ALLISON RAMSEY ARCHITECTS** Inc.  
 Members of the American Institute of Architects

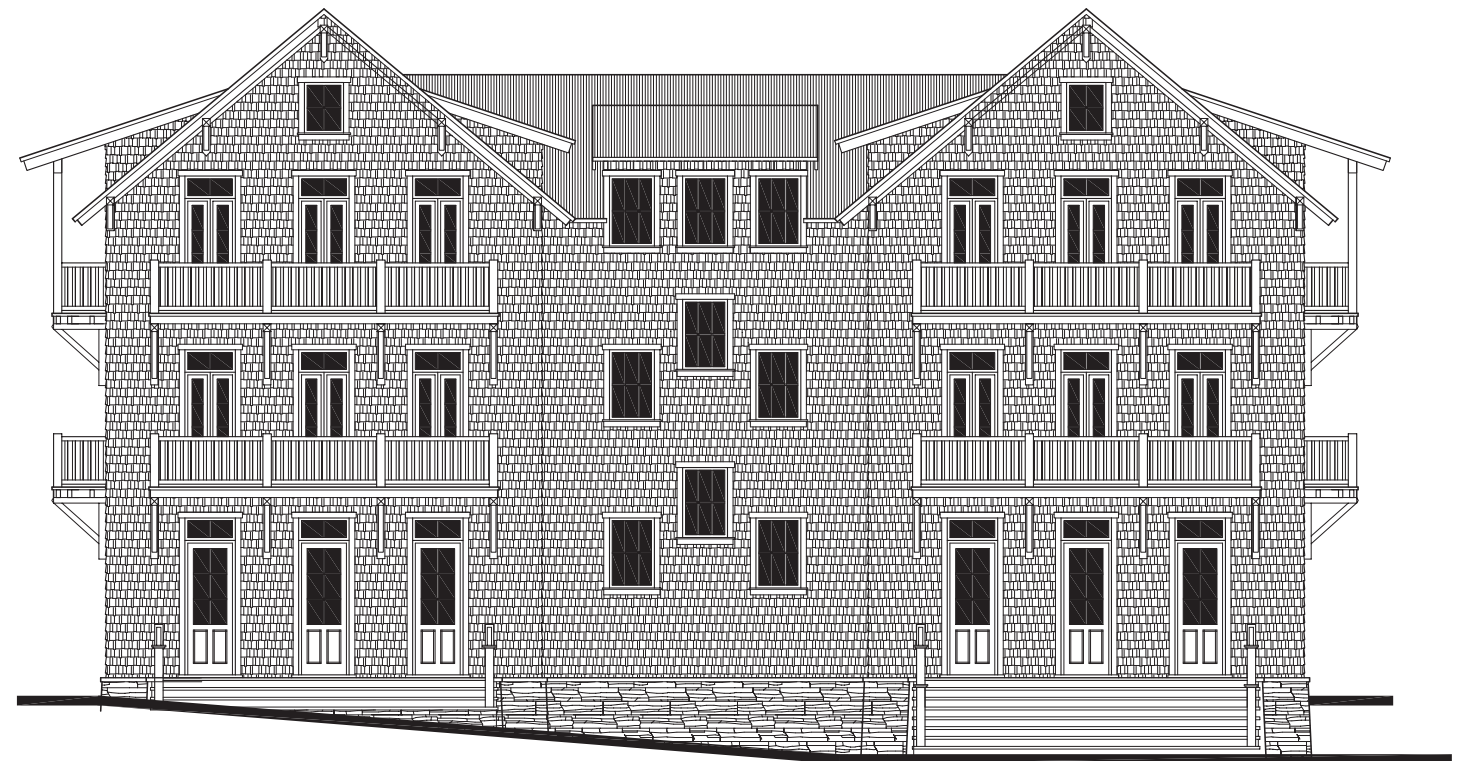
# Existing Property



# Multi-Family A

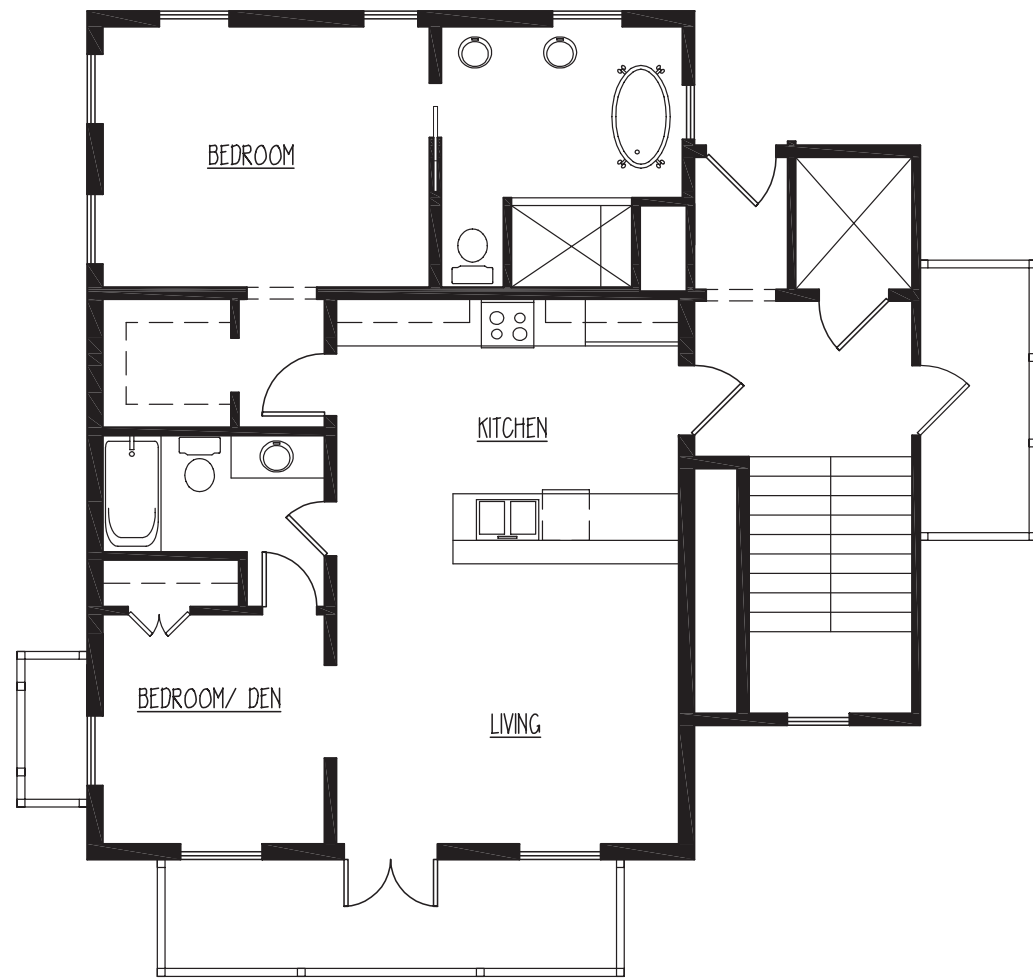


FLAT FLOOR PLANS

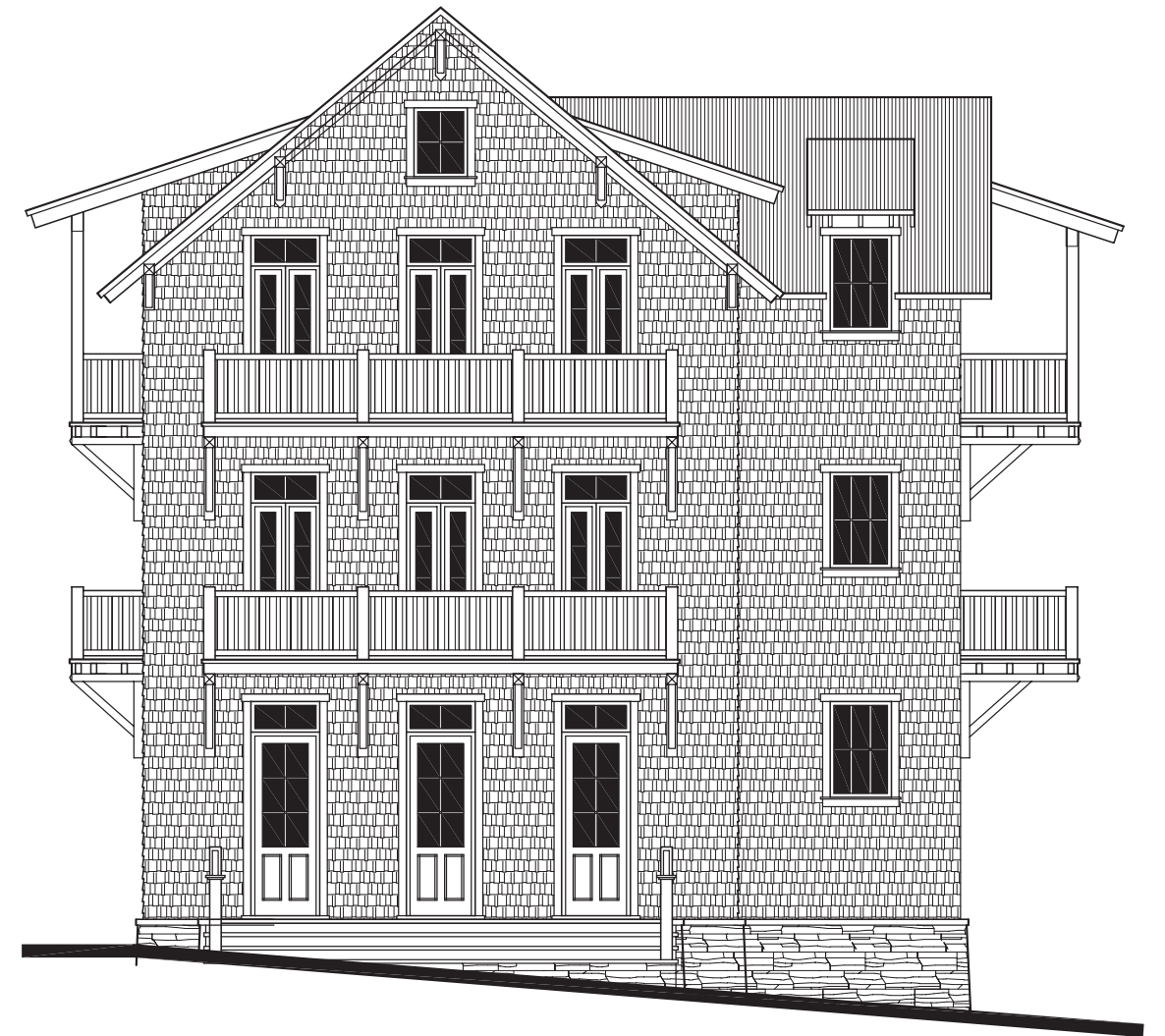


ELEVATION





FLAT FLOOR PLAN

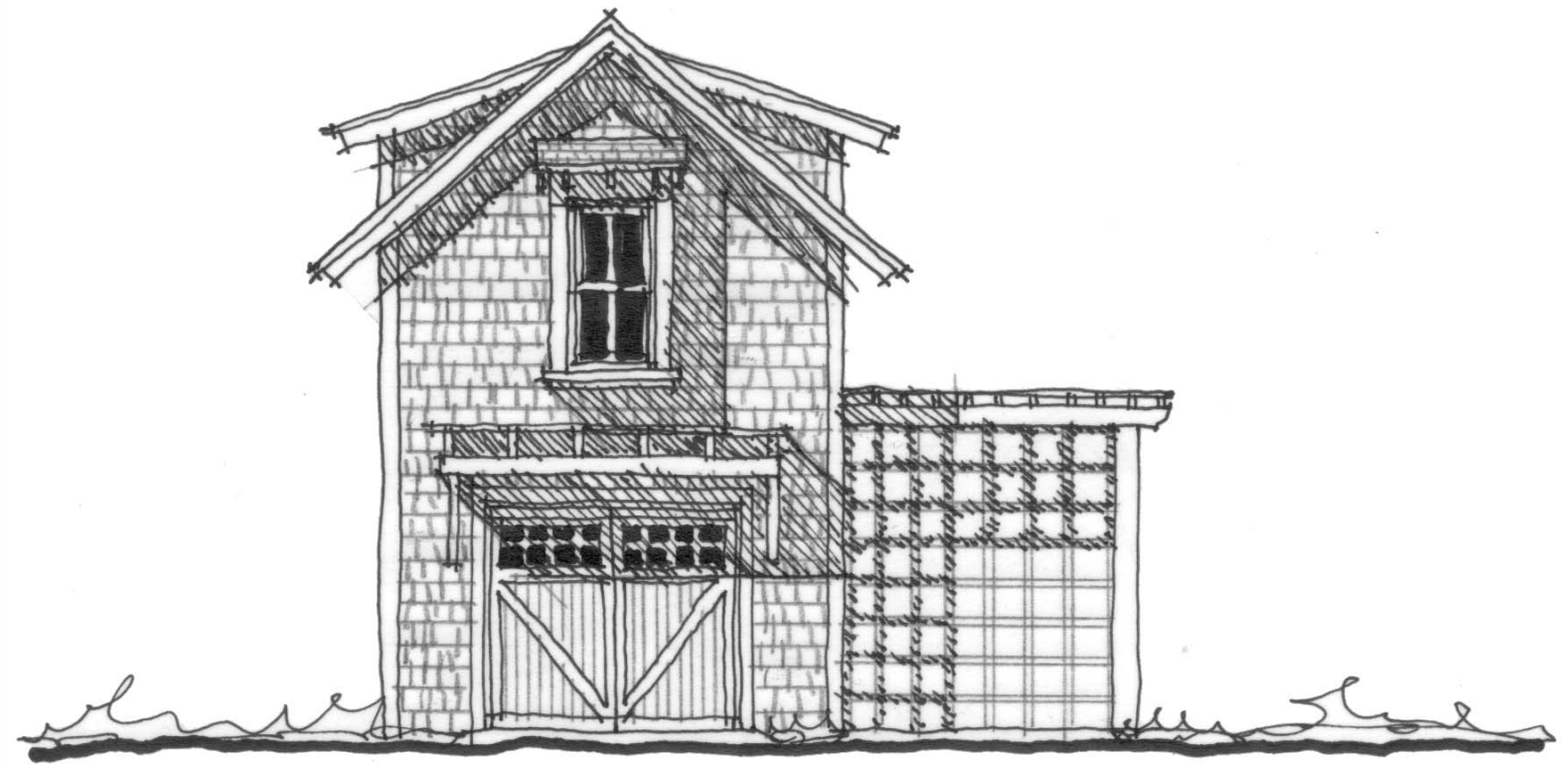
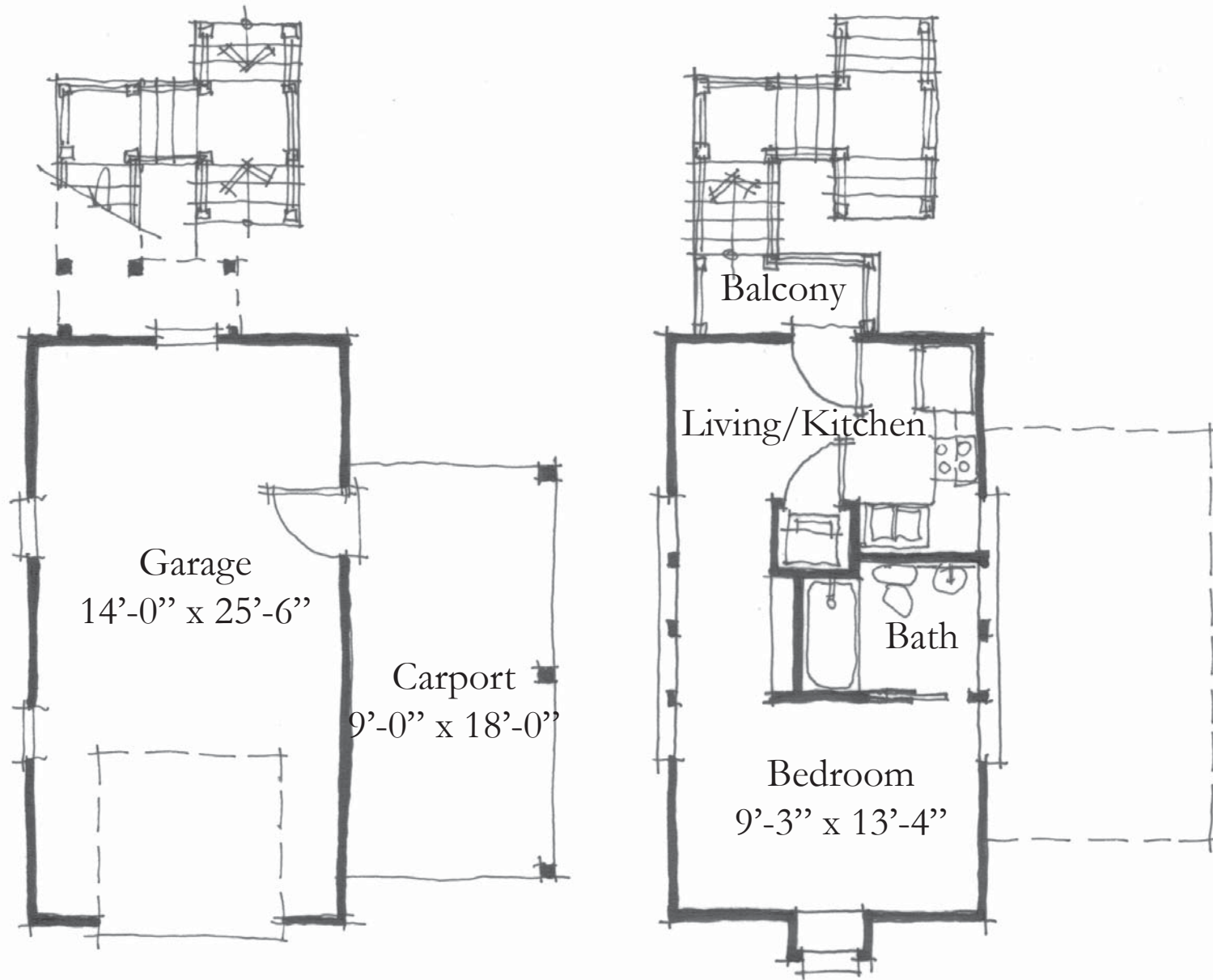


ELEVATION



# Garage G0063

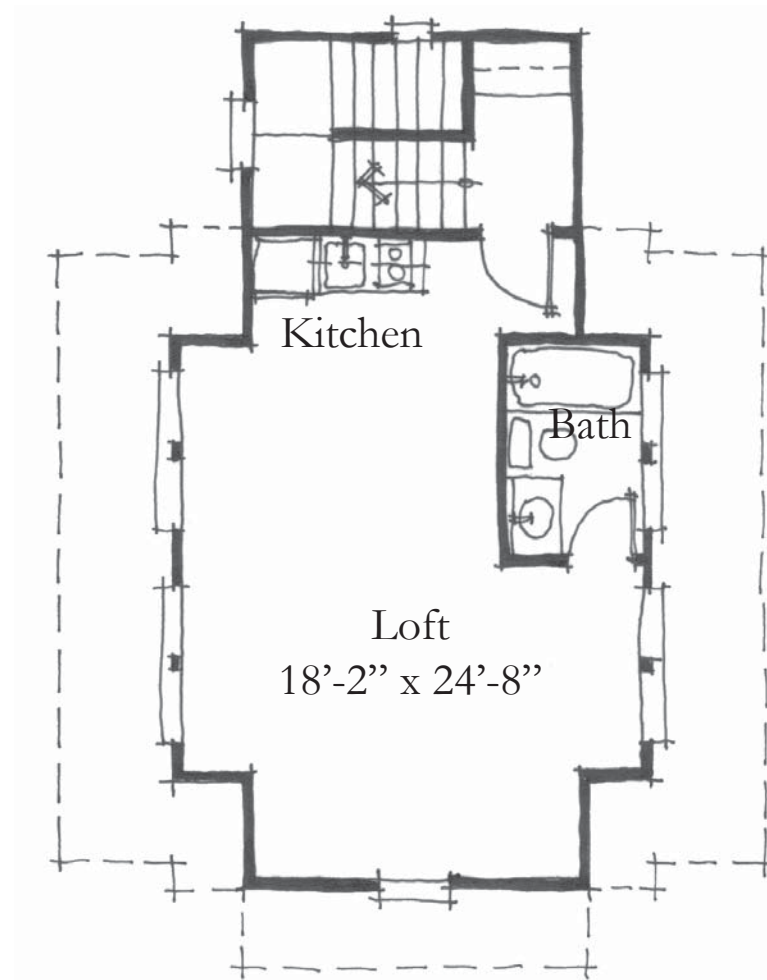
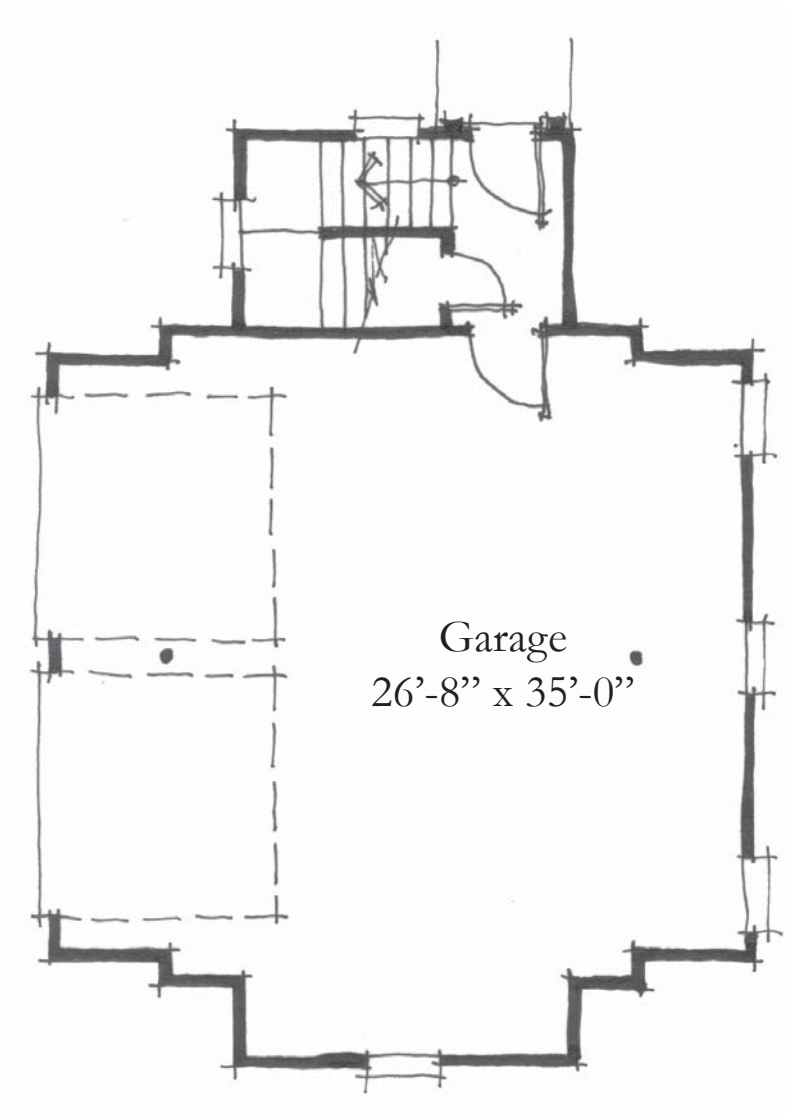
Garage- 357 square feet  
Carport- 162 square feet  
Second Floor- 363 square feet

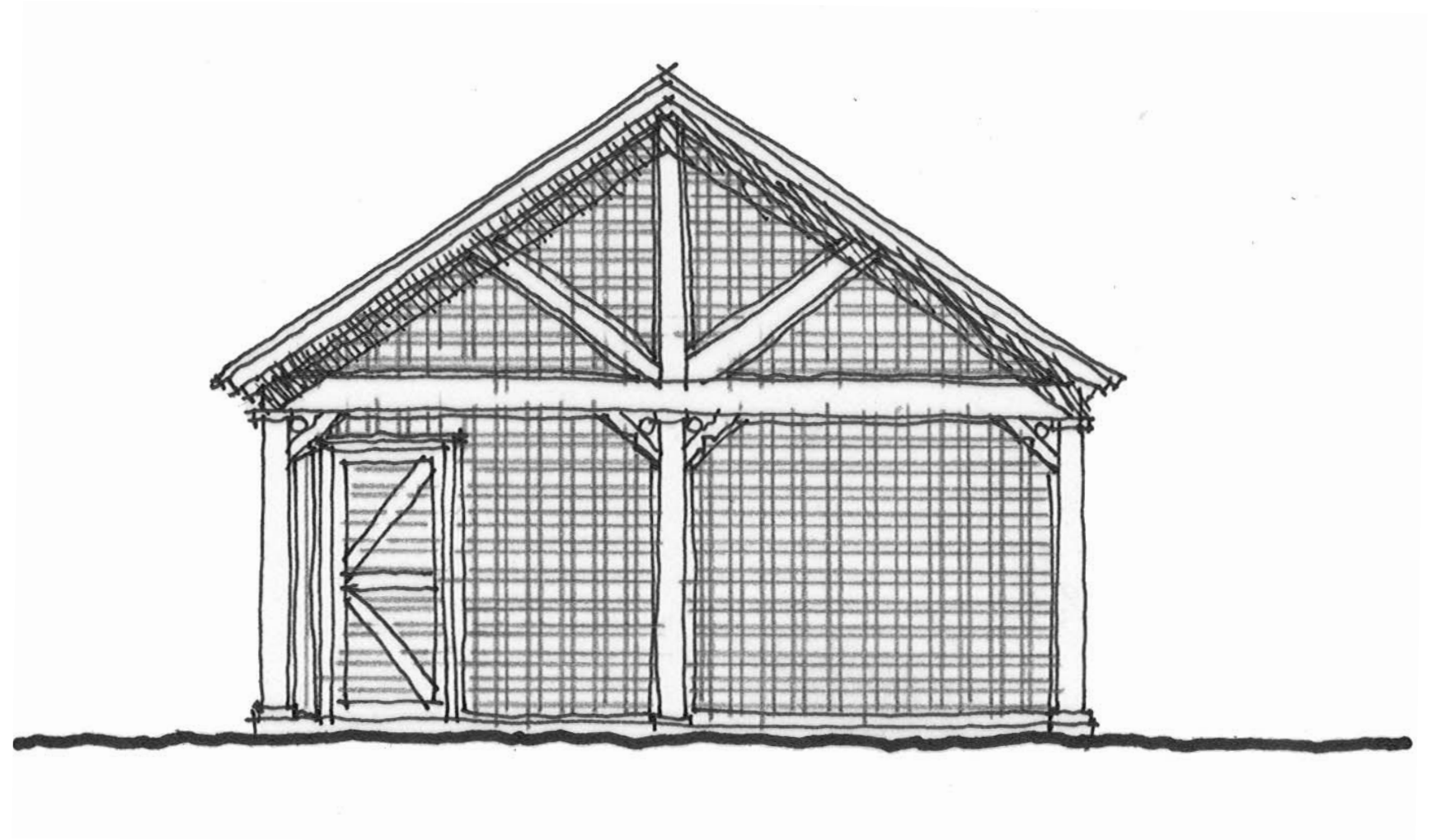
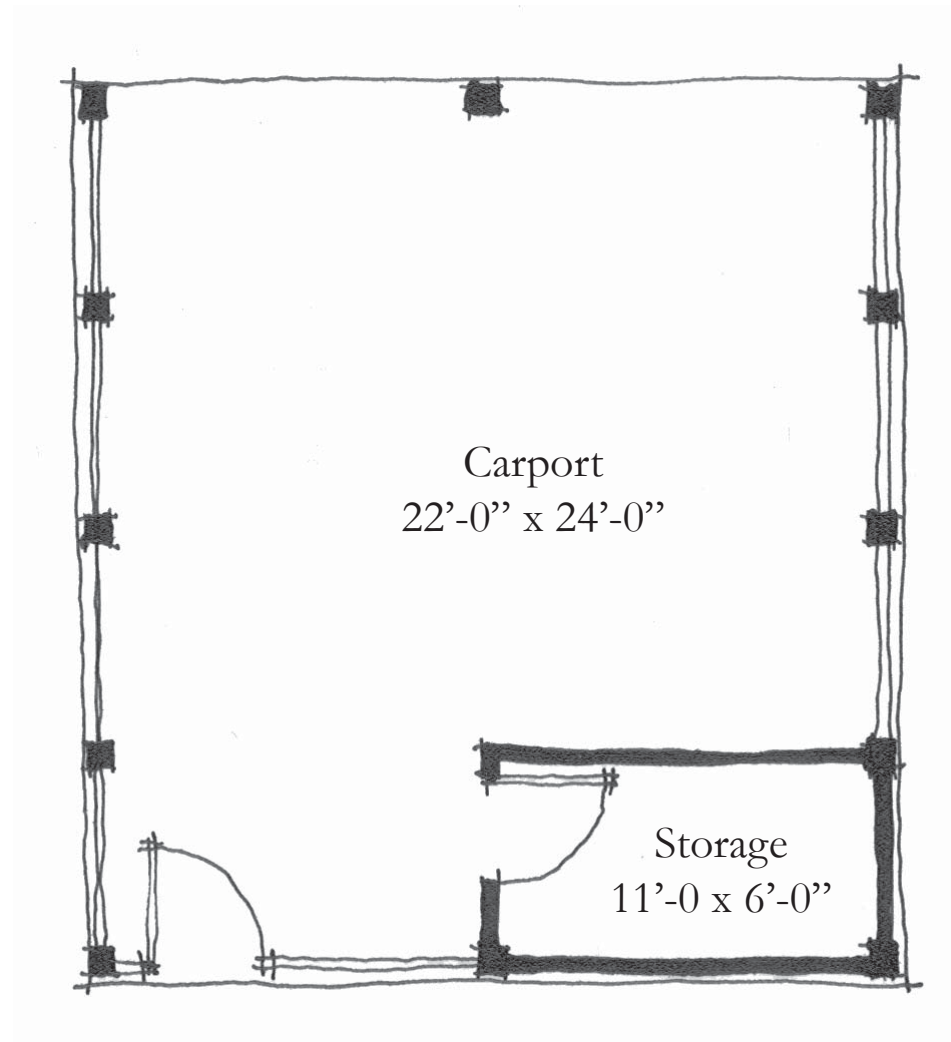




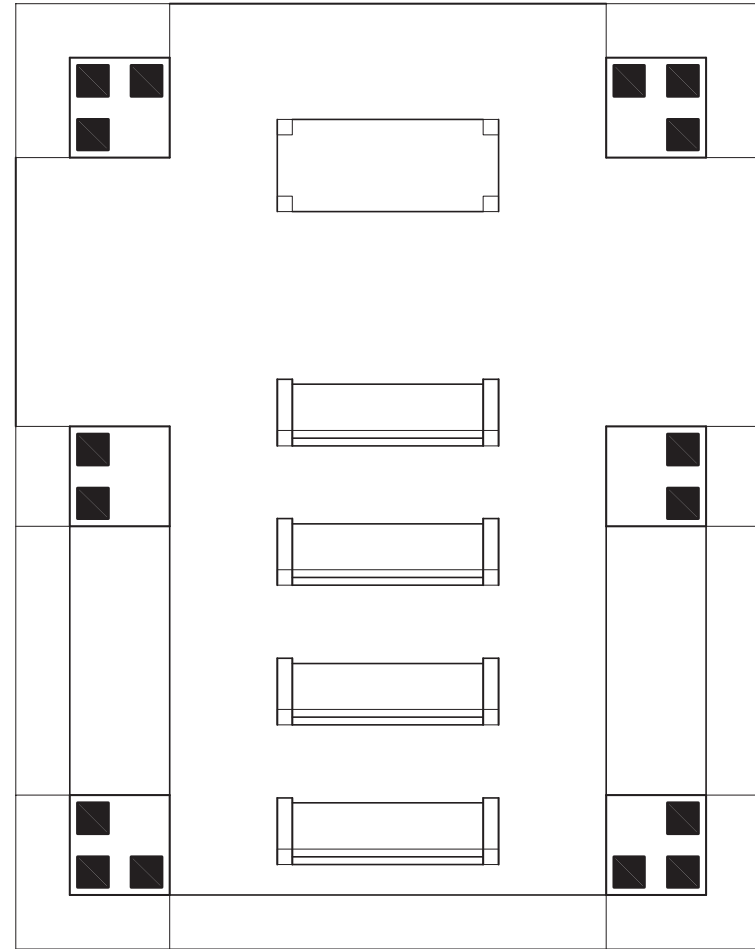
# Garage G0020

First Floor- 773 square feet  
Second Floor- 438 square feet

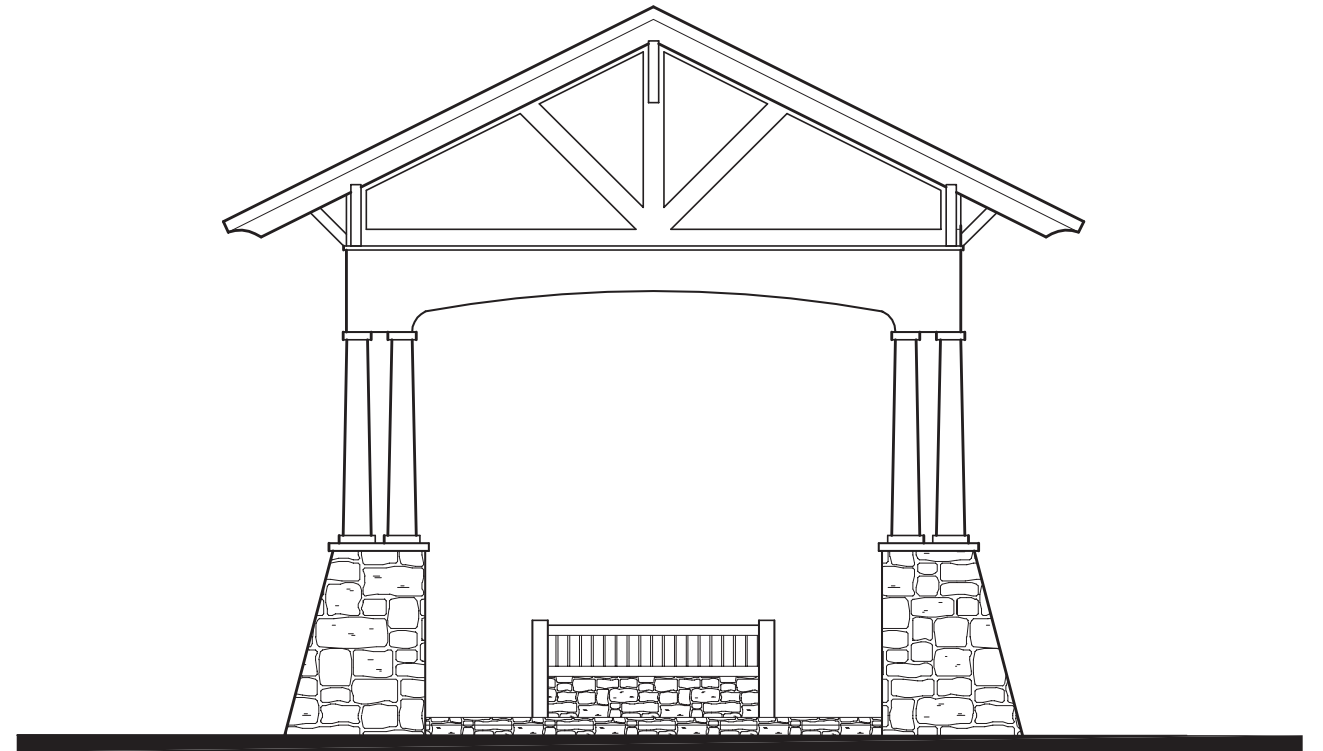




# Chapel



CHAPEL PLAN

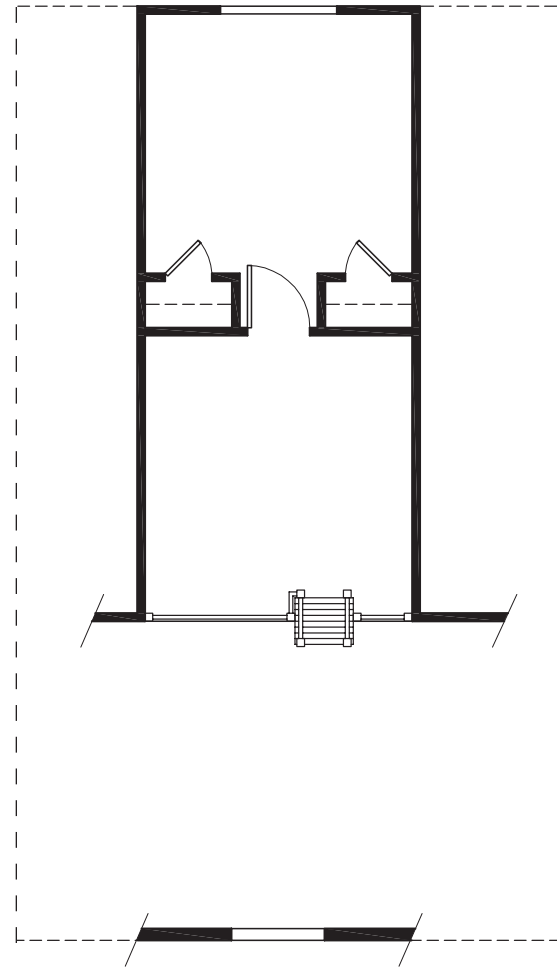


ELEVATION

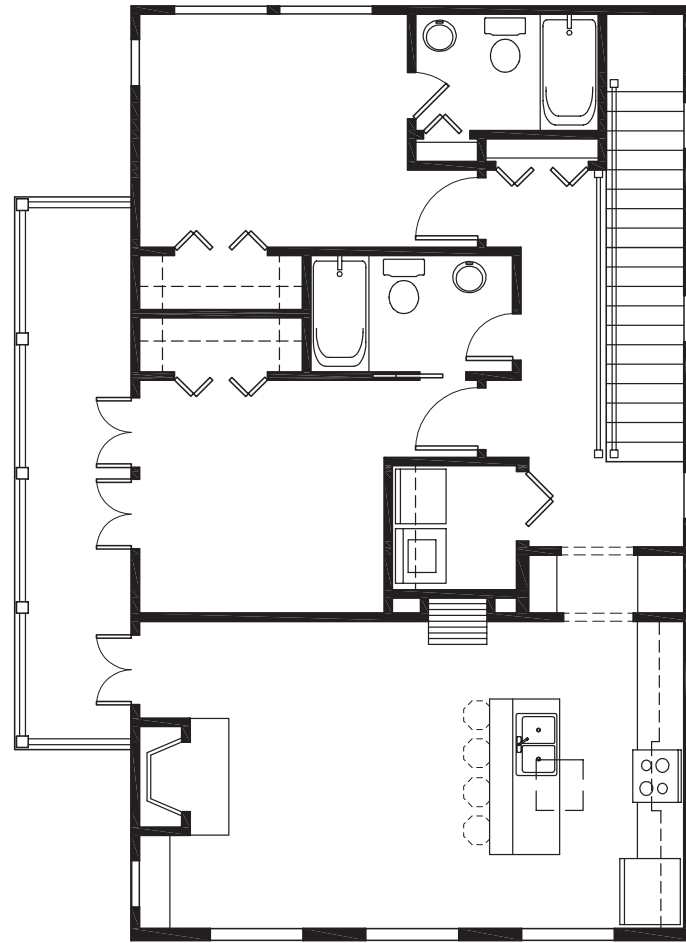


# Live-Work

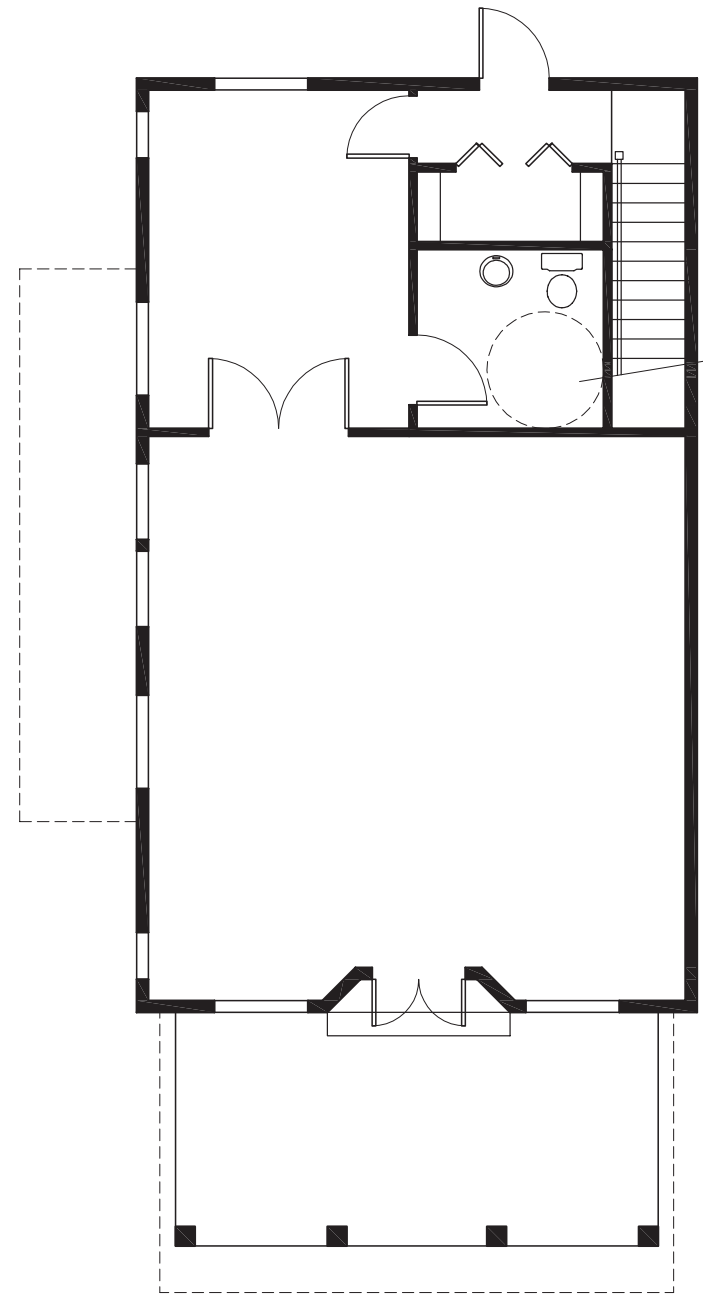
First Floor Heated - 960 sq. ft.  
Second Floor Heated - 900 sq. ft.  
Loft Heated - 315 sq. ft.  
Total Heated - 2175 sq. ft.



LOFT PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN



ELEVATION





# Architectural Standards

The interpretation of these guidelines will be the responsibility of the Village Architecture Team. The VAT will be composed of three voting members appointed by the Developer. The VAT will have approval authority for all aspects of parcel planning and exterior architecture, including aesthetic implication, traffic impacts, and any other site-specific matters not delineated herein. The VAT will have authority to waive Architectural Guidelines in specific instances where compliance would create undue or unnecessary hardship. The VAT may also grant special exceptions to the standards provided herein, on the basis of architectural merit.

The VAT will meet \_\_\_\_\_. All submissions must be received at least one week prior. Upon review, the VAT will respond back to the applicant within two weeks.

The review process consists of the following phases:

1. **Conceptual Review (OPTIONAL)** (2 copies (11vvvvvvvvvvand application)  
A concept sketch of the site, plan and elevation must be submitted to the VAT in order to determine suitability of a particular style or design. Photographs and other materials are also acceptable to help explain the concept. The VAT will render an opinion as to whether or not it would be acceptable. The VAT’s opinion will be strictly non-binding and will be offered only in an effort to save an applicant’s time and expense in pursuing a design that would ultimately be disapproved.

2. **Preliminary Review** (3 copies and application)  
Preliminary plans must include, but are not limited to:

- a. Site plan indicating all trees, property lines, streets, sidewalks, surrounding structures and proposed building footprint- 20’ towards parks/open spaces.
- b. Floor plans at a minimum scale of 1/8” = 1’-0”, showing room labels, overall dimensions, and square footages.
- c. Elevations of all sides at a minimum scale of 1/8” = 1’-0”, indicating proposed materials and heights.

Note- The VAT reserves the right to request larger scale drawings if the level of detail required to be depicted is not adequately indicated.

3. **Final Review** (3 copies and application)  
Final plans must include the following:

- a. Final site plan at appropriate scale showing the same as preliminary submittal plus water, electric service, sewer location, limits of construction, and location of external equipment, dumpsters, etc.
- b. Landscape plan showing all hardscape, plant materials, plant beds, irrigation, drainage and lighting. All plants must be labeled by size and species.
- c. Floor plans at a minimum of 1/8” = 1’-0” indicating all dimensions, labels, and square footages.
- d. Elevations, sections and details indicating proposed materials, heights, and floor elevations.
- e. Roof plan
- f. Foundation plan
- g. Structural, Mechanical, Electrical, and Plumbing plans
- h. All other drawings, details and specifications that are a part of the final construction documents.
- i. Colors



## MATERIALS

-Walls shall be finished in one or more of the following materials (but not more than three):

- Cementitious lap siding with 6" max. exposure (smooth)
- Wood clapboard with 6" max. exposure (smooth)
- Wood shingles - exposure
- Traditional board and batten siding
- Hardi board and batten siding
- Stucco with sand or trowelled finish (upon VAT approval)
- Native Stone

## EXECUTION

-Cementitious siding and wood walls to have minimum 3 1/2" wood trim at corners and openings.

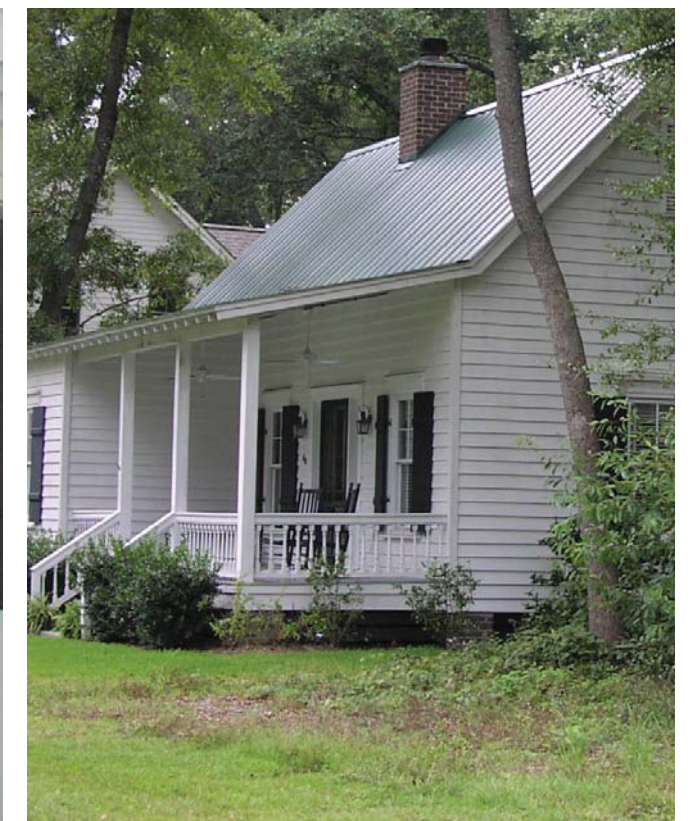
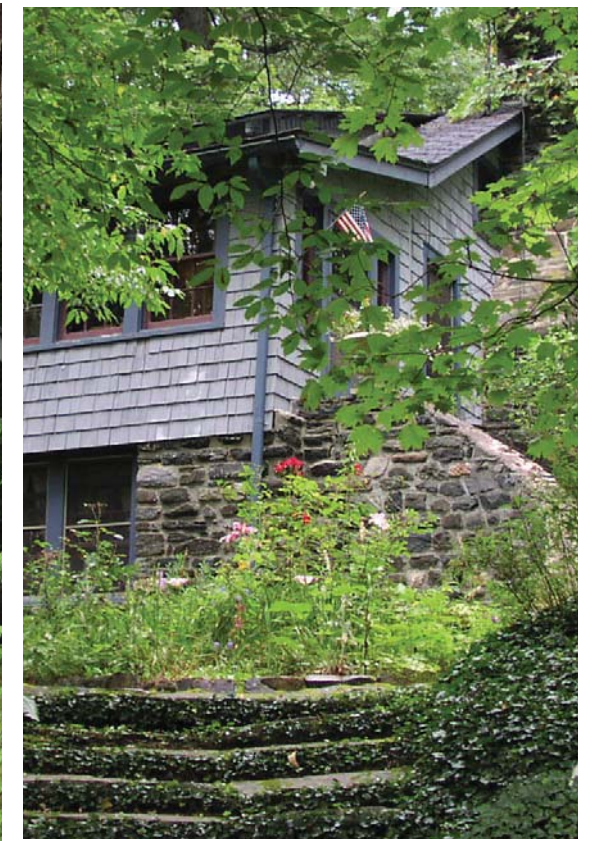
-Cementitious siding to be face nailed top and bottom; and all nail holes and vertical seams to be caulked and sanded. Horizontal siding (wood and cement fiberboard) as approved by the VAT must be fully back supported to maintain a straight and even outer surface, and must be fully and properly finished.

-Stucco shall be smooth finish, continuous product over vapor barrier and lath with 3 coat application (scratch coat, brown coat and sand finish final coat).

-Final coat can be painted or color in concrete, no use of foam is allowed.

## GENERAL NOTES

- Colors of all materials should be stained or painted to enhance the natural palette. Wood shingles may be left to age naturally or shall be stained. Wall materials of the same type shall be of one color. As a rule, colors in The Sanctuary Village are to be earth tones. Therefore, the use of white and other bright colors is not appropriate.



**MATERIALS**

- Roofs shall be finished with the following:
  - Metal standing seam (pending approval of type by VAT)
  - 5v or 8v crimp
  - 24 gauge or heavier corrugated metal
  - Dimensioned "Architectural grade" shingles

- Gutters and downspouts, where allowed, shall be galvanized steel, aluminum or copper.

- Flashing shall be copper, lead or anodized aluminum.

**EXECUTION**

- Principal roofs) shall be a symmetrical gable, hip or Jerkin-Head with a slope of 4:12 to 12:12. Roofs shall be proportional and appropriate to the architectural style of the house.

- Ancillary roofs) shall be a shed, hip, or gable with a minimum slope of 2:12.

- Flat roofs (slopes of less than 2:12) shall be permitted, based on architectural merit or when enclosed by a balustrade or parapet and shall be occupiable and accessible from an interior room.

- Dormers shall have gable, hip or shed roofs with a minimum slope of 2:12.

- Gutters shall be half-round. Downspouts shall be round or as approved.

- Roof penetrations shall be placed on the rear slope of the roof and shall not be visible from the street. Roof penetrations shall be painted to match the color of the roof, except those of copper which may be left unpainted and flashing applied to vertical surfaces may be painted to blend with the vertical materials where more appropriate. Any other roof treatments or features (i.e., ridge vents) shall be so noted on the architectural plans and approved by the VAT.





## MATERIALS

-Foundation walls, piers and chimneys shall be finished with stucco, stone, or brick.

-Approved foundation screenings are horizontal or vertical louvered wood vent with size appropriate to frame between piers with blades to shed rain (screened on the back side), Lattice (horizontal or vertical), or stone infill

-Chimneys shall match foundation material.

## EXECUTION

- All slab and crawl space foundations shall place the main mass of the structure 24" above grade as seen from the front elevation.

- The VAT reserves the right to set specific height requirements for specific areas.

- Visible piers shall be no less than 16" on exposed face.

- All screening must be set back (not flush) from the face of piers/wall.

## GENERAL NOTES

- Arches are discouraged, but if approved, they must be a minimum 12" in depth.

- Chimneys are to extend to the ground.

- Chimneys should break and return to a smaller width and all chimneys should have trim at the caps.

- The metal flues for pot belly stoves shall be located in the rear of major mass or on the side of minor masses.

- No metal spark arrestors or shrouds are allowed on chimneys.

-Basements are to be considered part of the foundation, and material choices should be consistent with approved materials.

-Basement wall penetrations shall follow guidelines for window materials and execution.



## MATERIALS

- Columns shall be made of wood or an approved synthetic material of the appropriate proportion for the style of the structure.
- Posts shall be of wood, or an approved synthetic material.
- Balusters, spindles, and rails shall be made of wood or an approved synthetic material.
- Porch and deck flooring shall be made of wood or brick.
- Porch ceilings shall be made of painted exposed wood framing or paneled wood of the appropriate style.

## EXECUTION

- Porch column bays to be of a vertical proportion unless approved by the VAT as appropriate for the architectural style.
- Wood posts shall be 6x6 minimum.
- Railing shall have horizontal top and bottom rails.
- Hand rails may be round or oval, chamfered or eased cap with an apron. Railings and balusters or spindles should be centered on the porch columns or posts. Balusters and spindles are not required. Cables, wire mesh or panels are acceptable (subject to VAT approval).
- Square balusters are not to exceed 5/4" hard edge. The spacings between balusters or spindles is not to exceed 4".
- If stoop or deck is made of concrete, it shall have stucco finished cheek walls.
- Screened porches may occur on the front of the major mass of the structure. Infilled porches are allowed.

## GENERAL NOTES

- Wood elements must be painted or stained.
- Decks are not allowed to be elevated.-Arcades and breezeways shall have vertically proportioned openings.
- Outdoor spaces (terraces/decks/patios/etc.) must be at grade.
- Screened porches shall be framed in wood installed behind framed railings.
- Porch must be 25% minimum of total facade exposure.



## MATERIALS

Upon VAT approval windows are to be painted wood, aluminum clad or vinyl clad.

Doors are to be painted or stained wood, fiberglass, or aluminum clad.

Shutters are to be wood, fiberglass, or PVC and operable with all required hardware.

Windows are to be true divided or simulated divided light windows with 7/8" muntins creating panes of square or vertical orientation.

Bay windows shall be made of trim lumber.

Stucco trim articulations shall be subject to approval by the VAT.

Security doors and window grills must be approved by the VAT.

Storm windows and screens shall be integral with the window. Screens are subject to approval by the VAT if they are not part of the manufactured unit.

## EXECUTION

Where large expanses of glass are required aluminum storefront will be allowed if deemed appropriate by the VAT (i.e. - commercial uses).

Windows should generally be the same type and style all around the house. A variety of window lite patterns is allowed, however, choices in the number and pattern of lites should be consistent with the architectural style.

Shutters are to be sized to match openings and should include the appropriate hardware (proper hinges and shutter dogs).

Bay windows shall extend to the ground if located on the first floor or, if not, they should be structurally supported by brackets.

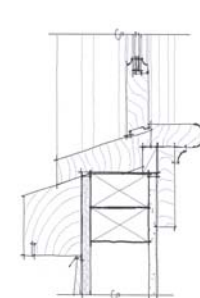
Dormer windows sized to 'fill' dormers. Generally, no siding will be allowed on front face of dormer.

Provide wood or masonry sill that projects enough for a drip kerf.

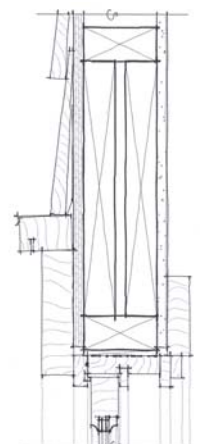
Window sash is to be rectangular with vertical proportions.

Multiple windows in the same opening are to be separated by a 4" post (minimum).

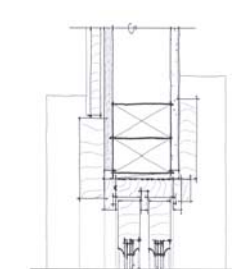
All trim at windows and doors shall be a minimum of 3 1/2" wide.



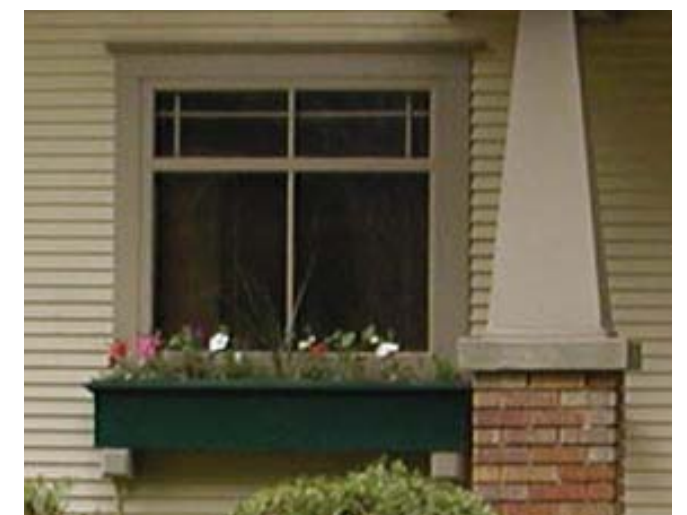
Window Sill



Window Head



Window Jamb



## MATERIALS

- A fence is an enclosure or dividing “framework” for land, yards or gardens.
- A wall is a “structure” which serves to enclose or subdivide a building usually presenting a continuous surface except where penetrated by doors, windows, and the like.
- All fences and wall designs must be submitted to the VAT for consideration.
- Approved wall and fence designs have been established by the VAT. Specifically, prefab brick, board-on-board, chainlink or welded wire fencing is not permitted. Other fence and wall designs must be submitted to the VAT for consideration.
- Fences at frontages and in front yards shall be made of wood with wood pickets of custom design or PVC supplies upon special approval by the VAT.



- Garden walls and retaining walls shall be of brick or stucco pending approval of type by VAT.
- Fences or garden walls may be made of wood pickets in combination with brick or stucco (pending approval of type by VAT).



## EXECUTION

- Gates shall be wood, iron or PVC-(pending approval of design).
- Fences at frontages and front yards shall be a maximum 36” above finished grade.
- Fences shall be composed of wood boards with a rectangular or round section. Spacing between boards is not to exceed 1 1/2”.
- Garden walls shall be a minimum of 8” thick.
- Garden walls shall not exceed 6’-0” in height above finished grade.
- Garden walls and privacy fences are not allowed in the front 1/3 of the property.



## GENERAL NOTES

- The VAT, prior to any installation, must approve the location, materials, size and design of all fences and walls in advance and in writing.
- Walls and fences should be considered an extension of the architecture and a transition of the architectural mass to the natural forms of the site. All wall and fence designs should be compatible with the total surrounding environment. Special consideration should be given to design, placement, impact and view of the wall or fence from neighboring sites. Fences and walls should be considered as design elements to enclose and define courtyards, and other more intimate spaces. Fences and walls should be run or curved where practical between existing trees to avoid unnecessary cutting.
- Once one approved fence or wall has been erected on a side or rear lot line, that approved fence or wall generally will be the only approved fence or wall to be erected on that lot line. In other words, double fencing by adjoining lot owners will generally not be allowed on side or rear lot lines.

## MATERIALS

- Exterior hardware and lighting shall be of non-plated metal or as approved by the VAT.

## EXECUTION

- Spotlights attached to building walls or roof eaves are permitted in rear yards only.

## GENERAL NOTES

- No permanent attachments of any kind or character whatsoever (including, but not limited to, television and radio antennas, solar energy-related systems, satellite or microwave dishes or similar improvements) shall be made to the roof or exterior walls of any building or otherwise placed or maintained on any Lot unless such attachments or devices are approved in advance in writing by the VAT.

- The following shall be permitted in rear or side yards, provided they are not visible from any street, sidewalk or adjacent home - provide fencing or screening of sufficient height to cover these objects:

- HVAC equipment
- Utility meters
- 18" satellite dishes
- Permanent grilles
- Permanent play equipment
- Hot tubs, those at ground level must be covered.

- The following shall not be permitted:

- Penalized materials
- Keystones (unless deemed architecturally appropriate by the VAT)
- Quoins (unless deemed architecturally appropriate by the VAT)
- Window or thru wall air-conditioning units (unless approved by VAT)
- Above-ground pools (except those of the inflatable variety)
- Signs (on private property)
- Pet-Runs and similar tether enclosure
- Flag poles (same as above)
- Treehouses, basketball goals, skate ramps, and other play apparatus

- All other items to be located in the Building Envelope (pools, spas, therapy spas, children's' play structures, etc.) must be approved by the VAT.



**Mailboxes and House Identification.** All mailboxes and newspaper boxes must be of a standard color, size and design as approved by the VAT or as provided by Declarant and may be installed only in a location approved by the VAT. Mailboxes will be reviewed for location relative to the residence. The Owner/Builder is required to use a standard VAT approved mailbox.

House numbers may be displayed on buildings or mailboxes only as approved by the VAT. Each home shall be identified by numerals to coincide with the 911 numerical listing. Review applicable ordinances requiring posting and location prior to selecting location on the residence, all numerical posting will require VAT approval.

**Electric Transformers and Refuse Containers.** All electric transformers and all refuse containers stored outdoors must be screened from view by methods and with materials approved by the VAT. Builders must consult with applicable service or utility provider prior to planting near or around the transformers.

**Pools, Therapy Pools and Spas.** The size, shape and setting of pools must be carefully designed to achieve a feeling of compatibility with the surrounding natural and man-made environment. The location of swimming pools, therapy pools and spas should consider the following:

1. Indoor/Outdoor relationship;
2. Setbacks;
3. Views both to and from the pool area;
4. Wind;
5. Sun;
6. Terrain (grading and excavation);
7. Fencing and privacy screening.

Pools will not be allowed outside of the Building Envelope area, except in limited circumstances as approved by the VAT. Pool decks may encroach outside the Building Envelope area if at or within two (2) feet of natural grade and no closer than ten (10) feet to any property line and the location complies with ? County regulations. Pool and pool equipment enclosures must be architecturally related to the residence and other structures in their placement mass and detail. Such structures shall be screened or treated so as to avoid distracting noise and views. Screened enclosures of tubular design will not be approved over pools. Pool slides are not allowed unless low in vertical profile. Pump houses and filter rooms will be integrated into the landscape and compliment the home's detailing.

**Play Equipment.** Elements of a planned park or playground, swing sets and similar outdoor play areas, structures and equipment should be located where they will have a minimum impact on adjacent Lots and where they will be best screened from general public view. Unless otherwise approved by the VAT, such play equipment must be located in the middle third of the rear of the Lot. The types of materials allowed are subject to the approval of the VAT.

**Remodeling and Additions.** Lot Owners desiring to remodel existing Improvements and/or to construct additions to existing Improvements shall follow these Standards as if such remodeling or additions were new construction. All criteria governing site location, grading and excavating, structures, roofs, landscaping and aesthetics will apply to remodeling and additions to the same extent as to new construction. Possible future Improvements or additions that will be of particular concern to the VAT are skylights and solar collectors, recreational features, lighting, antennas and satellite television equipment. VAT approval is required for remodeling and additions just as it is for new construction. Renovation and addition plans must be submitted to the VAT for approval in accordance with this section of these Standards, accompanied by an Additions/Renovations Review Fee of \$150.00.

An illustration of a landscape with a brown mountain peak on the left, a blue-grey valley, and green grass in the foreground. The background is a light green gradient.

# Landscape Standards

# Landscape Standards

## STANDARDS FOR THE PUBLIC LANDSCAPE

### TREE PATTERN

Allee planting shall be parallel rows of trees. Staggered planting shall be diagonal across the roadway.

### TREE RECOMMENDATIONS

Acer rubrum  
Quercus alba

Red Maple  
White Oak

Acer rubrum  
Liriodendron tulipifera  
Quercus alba  
Quercus rubrum

Red Maple  
Yellow Poplar  
White Oak  
Red Oak

### GROUND COVER

Shall be pine bark 3 inches deep.

Areas shall be hydro seeded or sodded with a fine grass mix that is shade and drought tolerant. Grass planting strips shall be mowed on a seasonally varied schedule for a maximum height and to promote deep rooting and water conservation.

### SOIL

All areas with a destroyed or compacted soil structure shall be rototilled successively with 3 inches of composted amendment before adding top soil. Soil tests should be taken and the proper amounts of organic phosphorus, lime or fertilizer applied according to test results. Care should be taken to break up any hardpan barrier created by this treatment.

Severely compacted planting strips with damaged or compacted soil shall be trenched to the depth of two feet, with the edges scarified and back filled to the depth of three feet with a well mixed soil amendment. Shape all trenched strips to a natural drainage outlet.

### ALLE PLANTING

### STAGGERED PLANTING

### MULCH

### GRASS

### GROUND COVER

### TRENCHED STRIP

### PRESERVATION

Streets have been designed to save the old stands of trees found on site. Street centerlines shall be readjusted as required after the initial survey to save groups of existing trees. Excessive earth movement around trees should be avoided. Trees should be fenced off at least to the dripline in all directions from the main trunk and digging, parking or the movement of construction equipment avoided in cordoned zone around trees to be saved. The soil structure of future planting strips shall also be protected from the deep compaction of heavy equipment whenever possible. The existing grades of public spaces shall remain fenced and undisturbed during construction.

### TREES

All plants are under varying degrees of stress. Moderate stress incurred by plants occurring in natural or manmade systems is of little consequence to healthy plant. However, trees and shrubs in urban conditions are under increased stress often resulting in premature death. A tree dies in urban conditions because it starves to death, due to nutritional deficiencies, soil compaction, changes in hydrology (wet-dry cycles) or environmental factors.

### SOIL COMPACTION

Soil compaction is the major factor affecting tree health and will be compounded by construction operations on the site. Soil compaction can occur as a result of foot traffic or vehicular traffic. In general our soils are clay soils and are subject to compaction. It is important to note that as the absorptive capacity of plant roots decrease, nutrient stress occurs which in turn reduces leaf manufacture of energy (carbohydrates and growth regulating compounds which in turn further reduces root activity). Soil compaction occurs primarily near the soil surface, since the soil near the surface spreads the load relative to the soil below. Protection of this top fragile layer is of utmost importance to maintaining existing trees. The effective roots of all plants are in the top foot of soil, and compaction occurs mainly at the surface. Mechanical aerifiers combined with a well balanced organic topical fertilizer may be used to aerify the compacted soil 1 to 3 inches deep to aid plant health.

### STRESS

### IMPROPER NUTRITION

The excess or imbalance of one or more nutrient elements can cause plant stress. Soil tests pulled over a period of years not only give indications of current nutrient need but developing imbalances as well.

### WATER

Water is probably the most common factor limiting plant growth. The lack of water during parts of the growing season is not necessarily bad. Poor and excessive water management results in the death of more plants than any single factor. Too much water can result in the following consequences.

- Reduced soil aeration
- Reduced or eliminated wet/dry cycles.
- Increased soil compaction since wet soil compacts more quickly than moderate or dry soils.
- Reduced root activity from excess water, poor aeration and low energy levels in plants.

### SITE OVERVIEW

SITE: Northern and southern slopes, low ridges, lotic and seasonally saturated areas

### SOIL

Variety of upland soils types unknown.

HYDROLOGY: Terrestrial, dry mesic to lotic flood plane

EXISTING VEGETATION: Open to nearly closed canopy dominated on southern slopes.

Quercus Alba	White Oak
Quercus spp.	Oaks
Carya spp.	Hickories
Liriodendron tulipifera	Yellow Poplar
Acer rubrum	Red Maple
Acer negundo	Box Elder
Tsuga caroliniana	Hemlock

### UNDERSTORY CONSIST OF IN PART

Cornus Florida	Dogwood
Ilex opaca	American Holly
Kalmia latifolia	Mountain Laurel
Sassafras albidum	Sassafras
Aralia spinosa	Devil Walking Stick
Oxydendrum arboreum	Sourwood
Calycanthus	Sweet Shrub
	Vaccinium spp.

# Landscape Standards

## NORTHWESTERN SLOPES

<i>Quercus</i> spp.	Oaks
<i>Carya</i> spp.	Hickories
<i>Pinus virginiana</i>	Virginia Pine
<i>Pinus strobus</i>	White Pine

## UNDERSTORY

Cornus Florida	Dogwood
Prunus serotina	Black Cherry
Kalmia latifolia	Mountain Laurel
Ilex opaca	American Holly
Rhododendron maximum	
Small lax	Small Lax
Xanthorhiza simplicissima	Yellow Root

## SOUTHWESTERN SLOPES

<i>Pinus virginiana</i>	Virginia Pine
<i>Pinus strobus</i>	White Pine
<i>Tsuga Carolina</i>	Hemlock
<i>Carya</i> spp.	Hickories
<i>Acer rubrum</i>	Red Maple
<i>Juniperus virginiana</i>	Red cedar
<i>Oxydendrum arboreum</i>	Sourwood
<i>Tilia americana</i>	Basswood
<i>Quercus rubrum</i>	Red Oak

HERB LAYER: contains a variety of grass and wildflowers on edge with Christmas ferns in woodland understory.

The above short survey was conducted with a visit to the site. A more detailed site survey would provide a greater understanding of site dynamics and site species makeup.

## RECOMMENDED PLANT LIST

### TREES

<i>Quercus</i> spp.	Oaks
<i>Carya</i> spp.	Hickories
<i>Tsuga</i> spp.	Hemlocks
<i>Pinus strobus</i>	White Pine
<i>Acer rubrum</i>	Red Maple
<i>Acer barbatum</i>	Southern Sugar Maple
<i>Acer saccharum</i>	
<i>Magnolia fraseri</i>	Fraser Magnolia

### UNDERSTORY TREES

<i>Catalpa bignonioides</i>	Catalpa
Cornus Florida	Dogwood
<i>Cornus alternifolia</i>	
<i>Calycanthus floridus</i>	Sweets
<i>Halesia diptera</i>	Two-winged Silver Bell
<i>Halesia Carolina</i>	Silver Bell
<i>Oxydendrum arboreum</i>	Sourwood
<i>Amelanchier</i> spp.	Serviceberry

### SHRUBS

Rhododendron maximum

Rhododendron calen-dulaceum	Flame
<i>Aesculus parviflora</i>	Bottlebrush
<i>Calycanthus Florida</i>	Sweet Shrub
<i>Aralia Spinosa</i>	Devils Walking Stick
<i>Clethra accuminata</i>	Cinnamon Clethra
<i>Hamamelis vernalis</i>	Witch Hazel
<i>Hydrangea quercifolia</i>	Oakleaf Hydrangea
<i>Kalmia latifolia</i>	Mountain Laurel
Leucothoe	
<i>Sambucus canaclensis</i>	Elderberry
<i>Vaccinium</i> spp.	Blueberry
<i>Viburnum</i> spp.	Viburnum

## NATIVE PERENNIALS FOR SHADE

<i>Aquilegia canadensis</i>	Columbine
<i>Asarum arifolium</i>	Ginger
<i>Aster divaricatus</i>	White Wood Aster
<i>Chelone glabra</i>	Turtlehead
<i>Dicentra culcullaria</i>	Dutchman's Breeches
<i>Iris cristata</i>	Crested Iris
<i>Iris vernal</i>	Vernal Iris
<i>Mitchella repens</i>	Partridgeberry
<i>Penstemon</i> spp.	Beard Tongue
<i>Dicentra eximia</i>	Bleeding Heart
<i>Dodecatheon meadia</i>	Shooting Star
<i>Geranium maculatum</i>	Geranium
<i>Phlox divaricata</i>	Wild Sweet William
<i>Phlox paniculata</i>	Garden Phlox
<i>Phlox stolonifera</i>	Creeping Phlox
<i>Podophyllum peltatum</i>	Mayapple
<i>Pycnanthemum incanum</i>	Mountain Mint
<i>Tiarella cordifolia</i>	Foam Flower
<i>Viola</i> spp.	Native Viola

## FERNS

<i>Adiantum pedatum</i>	Maidenhair
<i>Polystichum acrostichoides</i>	Christmas
<i>Dryopteris marginalis</i>	Leather Wood

## NATIVE PERENNIALS FOR SUN

<i>Aster oblongifolius</i>	Aromatic Aster
<i>Aster novae-angliae</i>	New England
<i>Baptisia australis</i>	Wild Indigo
<i>Chrysogonum virginianum</i>	Green and Gold
<i>Coreopsis</i> spp.	Coreopsis
<i>Eupatorium purpureum</i>	Joe Pye
<i>Liatris spicata</i>	Blazing Star
<i>Rudbeckia fulgida</i>	Black-eyed Susan
<i>Solidago</i> spp.	Native Golden Rod
<i>Veronia altissima</i>	Ironweed



# Landscape Standards

## STANDARDS FOR PRIVATE LANDSCAPE

### PLANTING CODE

Owners shall plant one tree or group for every 24 feet of roadway frontage.

Successional trees shall

be planted in sites that have been preserved.

Substitutions shall be

permitted with the approval of the Supervisor.

### GUIDE Neighborhood Center

*Dooryard Groundcovers* are advised for the vernacular village landscape with *Dooryard Trees* fitting against the townhouse.

*Parking Trees* have the urban roots for the tight spaces at the edge of back parking lots.

#### Neighborhood General

*Ornamental Framing Trees* help frame the house with the cultural landscape. *Front Trees* develop the high canopy suitable for placement in areas fronting (or backing) of the house, while *Side Trees* have a heavier medium canopy suitable for framing the elevation. *Back Trees* help maintain a corridor for a more diverse wildlife.

#### Neighborhood General

*Successional and Large Trees* extend the canopy of the greenway edges, while *Wildlife Thicket* help prevent the relatively sterile landscape of new developments.

### INSTRUCTIONS: Soil & Tree Preservation

The underlying soil profile shall be protected from deep compaction during building construction by mandating and staking alley or drive access for all construction equipment.

The surface roots of large

trees and edges of groves 10 feet outside the building and driveway footprint shall be clearly rootpruned two growing months before the onset of construction. In the Neighborhood Edge, placement of the footprint of all buildings shall be adjusted after a rough field survey. All preserved rootzones shall be staked and mulched from material at hand.

Preservation shall be

supervised by the landscape supervisor until satisfactory procedures are set. Preserved trees shall be thinned and pruned by the homeowner only after all construction has ceased. Successfully preserved properties must still plant

successional trees as seedlings to assure the longevity of the cover.

#### Availability

The Landscape Supervisor shall provide lists of approved and available native plants for homeowners and a yearly buying system of wholesale plants established with a plant broker or nursery. Trees and plants shall be planted from 20 gallon containers, but size shall be adjusted according to availability of desired species, with 10 gallon container plants recommended for the small trees and 7 gallon containers acceptable for native taproot trees that are otherwise difficult to acquire.

#### Planting and Cultivation

Plants shall be placed in planting holes without amendment, with effort concentrated in loosening compacted soil, assuring drainage and mulching the rootzone: all yard areas with compacted soil shall not be rototilled with 3 inches of Mason's Sand and 3 inches of fully composted green waste before the spread of any additional topsoil layer.

#### Fertilization

Plants shall be fertilized yearly with a tree fertilizer with organic nitrogen containing less than 10% organic urea nitrogen which shall be supplied through the landscape supervisor: a low phosphorus content shall compensate for the use of the use of ash during soil preparation. Fertilizer shall be broadcast on the grass outside the canopy line to feed the extending growing roots. So as to protect the streams and ponds, no grass fertilizer shall be permitted.

#### Construction

All entrance paths shall be incised into the slope with steps between cheekwalls whenever the overall front yard slope exceeds 25%. Footwalls shall not exceed 6 inches in the Neighborhood Center, or 14 inches in the Neighborhood General, where they shall have a level top course. Walls in the Neighborhood Edge shall not be level, with a maximum height of three feet, and shall be made of slightly battened regional stone or slate.

*Plant in the side of the front within 12 feet of the house to frame the elevation.*

Dogwood  
Native magnolias  
Red Maple  
Sourwood  
Southern Catalpa

Cornus Florida  
Magnolia ashei, fraser  
Acer rubrum  
Oxydendron arboreum  
Catalpa bignoides

### SIDE TREES

*Plant along the sides of the yard, equidistant from all neighboring trees.*

Black Oak	Quercus velutina
Chestnut Oak	Quercus prinus
Chinkapin Oak	Quercus muehlenbergia
Laurel Oak	Quercus laurifolia
Nuttall Oak	Quercus nuttallii
Overcup Oak	Quercus lyrata
Pin Oak	Quercus palustris
Pinus strobus	White Pine
Tsuga Carolina	Hemlock
Tsuga canadensis	Hemlock

### FRONT TREES

*Plant in the more central areas of the, equidistant from all neighboring trees.*

Scarlet Oak	Quercus coccinea
Tuliptree	Liriodendron tulipifera
Winged Elm	Ulmus alata
White Oak	Quercus alba
Red Oak	Quercus rubrum

### WILDLIFE TREES

*Plant in the close to the back properly line. Side trees are also permitted.*

Black Cherry	Prunus serolina
Green Ash	Fraxinum pennsylvanica, the species only
Persimmon	Dyospiros virginiana
Red Cedar	Juniperus virginiana
Sugarberry	Celtis laevigata
Red Maple	Acer rubrum
Serviceberry	Amelanchier
Sourwood	Oxydendron arboreum

### RECOMMENDED PLANT LIST

#### TREES

Quercus spp.	Oaks
Carya spp.	Hickories
Tsuga spp.	Hemlocks
Pinus strobus	White Pine
Acer rubrum	Red Maple
Acer barbatum	Southern Sugar Maple
Acer saccharum	

# Landscape Standards

Magnolia fraseri Fraser Magnolia

## UNDERSTORY TREES

Catalpa bignonioides	Catalpa
Cornus Florida	Dogwood
Cornus alternifolia	
Calycanthus floridus	Sweets
Halesia diptera	Two-winged Silver Bell
Halesia Carolina	Silver Bell
Oxydendrum arboreum	Sourwood
Amelanchier spp.	Serviceberry

## SHRUBS

Rhododendron maximum	
Rhododendron calen- dulaceum	Flame
Aesculus parviflora	Bottlebrush
Calycanthus Florida	Sweet Shrub
Aralia Spinosa	Devils Walking Stick
Clethra accuminata	Cinnamon Clethra
Hamamelis vernalis	Witch Hazel
Hydrangea quercifolia	Oakleaf Hydrangea
Kalmia latifolia	Mountain Laurel
Leucothoe	
Sambucus canaclensis	Elderberry
Vaccinium spp.	Blueberry
Viburnum spp.	Viburnum

## NATIVE PERENNIALS FOR SHADE

Aquilegia canadensis	Columbine
Asarum arifolium	Ginger
Aster divaricatus	White Wood Aster
Chelone glabra	Turtlehead
Dicentra culcullaria	Dutchman's Breeches
Iris cristata	Crested Iris
Iris vernal	Vernal Iris
Mitchella repens	Partridgeberry
Penstemon spp.	Beard Tongue
Dicentra eximia	Bleeding Heart
Dodecatheon meadia	Shooting Star
Geranium maculatum	Geranium
Phlox divaricata	Wild Sweet William
Phlox paniculata	Garden Phlox
Phlox stolonifera	Creeping Phlox
Podophyllum peltatum	Mayapple
Pycnanthemum incanum	Mountain Mint
Tiarella cordifolia	Foam Flower
Viola spp.	Native Viola

## FERNS

Adiantum pedatum	Maidenhair
Polystichum acrostichoides	Christmas
Dryopteris marginalis	Leather Wood

## NATIVE PERENNIALS FOR SUN

Aster oblongifolius	Aromatic Aster
Aster novae-angliae	New England
Baptisia australis	Wild Indigo
Chrysogonum virginianum	Green and Gold
Coreopsis spp.	Coreopsis
Eupatorium purpureum	Joe Pye
Liatris spicata	Blazing Star
Rudbecki fulgida	Black-eyed Susan
Solidago spp.	Native Golden Rod
Veronia altissima	Ironweed



# Review Board Forms

The Sanctuary Village  
CONCEPT REVIEW  
FORM A

OWNER: \_\_\_\_\_ DATE: \_\_\_\_\_

PARCEL: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_

FIRM: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

TELEPHONE: \_\_\_\_\_ FAX: \_\_\_\_\_

1. Has the architect visited the site?     yes  
   no

2. Two (2) sets of preliminary sketches     Site Plan  
are submitted in compliance with         Floor Plans  
the Preliminary Review.                     Elevations

LANDSCAPE ARCHITECT: \_\_\_\_\_  
(leave blank if not yet selected)

ADDRESS: \_\_\_\_\_

SUBMITTED BY: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_

The Sanctuary Village  
PRELIMINARY REVIEW  
FORM B

OWNER: \_\_\_\_\_ DATE: \_\_\_\_\_

PARCEL: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_

FIRM: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

TELEPHONE: \_\_\_\_\_ FAX: \_\_\_\_\_

1. Has the architect visited the site?     yes  
   no

2. Three (3) sets of preliminary sketches     Site Plan  
are submitted in compliance with         Floor Plans  
the Preliminary Review.                     Elevations

LANDSCAPE ARCHITECT: \_\_\_\_\_  
(leave blank if not yet selected)

ADDRESS: \_\_\_\_\_

SUBMITTED BY: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_

The Sanctuary Village  
APPLICATION FOR ARCHITECTURAL REVIEW  
FINAL REVIEW  
FORM C

FORM C---PAGE 2

OWNER \_\_\_\_\_ DATE \_\_\_\_\_  
STREET \_\_\_\_\_ PARCEL \_\_\_\_\_

ADDRESS

ARCHITECT \_\_\_\_\_  
LANDSCAPE ARCHITECT \_\_\_\_\_  
CONTRACTOR \_\_\_\_\_

FINAL APPLICATION FOR:                         ( ) NEW CONSTRUCTION  
   ( ) EXTERIOR ALTERATION

AREA COVERED BY ALL STRUCTURES                 \_\_\_\_\_ S.F.  
HEATED AREA   \_\_\_\_\_ S.F.  
NON-HEATED AREA (PORCHES, ETC.)                 \_\_\_\_\_ S.F.

APPLICATION MUST INCLUDE 3 SETS OF THE FOLLOWING:

- ( ) SITE PLAN
- ( ) LANDSCAPE
- ( ) FLOOR PLAN
- ( ) ELEVATIONS AND SECTIONS
- ( ) STRUCTURAL AND FOUNDATION PLAN
- ( ) MECHANICAL AND PLUMBING PLAN

EXTERIOR MATERIALS AND COLORS:

<u>ITEM</u>	<u>MATERIAL</u>	<u>COLOR</u>	<u>MODEL OR MANUFACTURER</u>
Siding (wood)	_____	_____	_____
Roofing	_____	_____	_____
Fascia, Trim	_____	_____	_____
Shutters	_____	_____	_____
Front Door	_____	_____	_____

EXTERIOR MATERIALS AND COLORS CONTINUED:

<u>ITEM</u>	<u>MATERIAL</u>	<u>COLOR</u>	<u>MANUFACTURER</u>
Exterior Doors	_____	_____	_____
Windows	_____	_____	_____
Gutters	_____	_____	_____
Walks	_____	_____	_____
Foundation	_____	_____	_____
Other	_____	_____	_____

Remarks: \_\_\_\_\_

NOTE: PHOTOGRAPHS, CUT SHEETS FOR SAMPLES OF THE ABOVE SHALL BE SUBMITTED FOR APPROVAL OF COLOR AND TEXTURE.

I certify that the preceding is true and correct, to the best of my knowledge. I have read the Policies and Procedures of The Sanctuary Village and agree to abide by them.

\_\_\_\_\_ Date   Applicant's Signature

To be completed by The Sanctuary Village Administrator:

\$500.00 Application Fee Received \$\_\_\_\_\_ Amount   \_\_\_\_\_ Date

<u>Review Date</u>	<u>Application Status</u>
_____	_____
_____	_____
_____	_____

The Sanctuary Village  
APPLICATION FOR CONSTRUCTION  
FORM D

To Be Completed By Builder

DATE \_\_\_\_\_

OWNER \_\_\_\_\_

PARCEL \_\_\_\_\_

BUILDER \_\_\_\_\_

LICENSE NUMBER \_\_\_\_\_

ADDRESS \_\_\_\_\_

\_\_\_\_\_

TELEPHONE \_\_\_\_\_ FAX \_\_\_\_\_

CONTACT PERSON \_\_\_\_\_

CONSTRUCTION DEPOSIT- \$3,500.00 RECEIVED ON \_\_\_\_\_

CONSTRUCTION RULES

1. CONSTRUCTION HOURS ARE TO BE 7:00 AM UNTIL 7:00 PM MONDAY THROUGH SATURDAY.
2. NO PROJECT SHALL SET IDLE FOR A PERIOD EXCEEDING ONE WEEK.
3. THE CONSTRUCTION SITE MUST BE CLEANED ON A DAILY BASIS.
4. ALL CONSTRUCTION MATERIALS MUST BE CONTAINED WITHIN THE LOT ON WHICH THE CONSTRUCTION IS TAKING PLACE.
5. SILT FENCING MUST BE INSTALLED AND MAINTAINED ON BOTH SIDES OF LOT LINES.
6. A DUMPSTER OR OTHER APPROVED CONTAINER MUST BE USED FOR ALL WASTE MATERIALS.
7. ABSOLUTELY NO BURNING OF WASTE MATERIALS ON SITE.
8. LOUD RADIOS ARE NOT PERMITTED, RADIOS ARE ALLOWED ONLY IN THE INTERIOR OF THE BUILDING AFTER DRY IN.

I HAVE READ AND AGREE TO ABIDE TO THE ABOVE CONSTRUCTION RULES.

SIGNATURE \_\_\_\_\_

The Sanctuary Village  
APPLICATION FOR FINAL INSPECTION  
FORM E

OWNER: \_\_\_\_\_

DATE: \_\_\_\_\_

PARCEL: \_\_\_\_\_

BUILDER: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

\_\_\_\_\_

TELEPHONE: \_\_\_\_\_

FAX: \_\_\_\_\_

REQUESTED DATE OF  
INSPECTION: \_\_\_\_\_

I do hereby certify in good faith that the contracted structure on said Parcel does conform to the codes and the Construction Documents as approved by VAT. All sitework, landscaping, cleaning, removal of temporary utilities, and repair of damage to right-of-way and common areas has been implemented. This constitutes a request for return of the construction deposit.

Builder: \_\_\_\_\_

Date: \_\_\_\_\_

Attached herewith is/are:           ( ) As-Built set of drawings

( ) Certificate of Occupancy

Signature of Owner to  
Approve Return of Deposit: \_\_\_\_\_

Date: \_\_\_\_\_

The Sanctuary Village  
APPLICATION OF CHANGE  
FORM F

To be completed by Builder:

OWNER: \_\_\_\_\_

DATE: \_\_\_\_\_

PARCEL: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_

CHANGE DESCRIPTION: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

REASON FOR CHANGE: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

SUBMITTED BY: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_

To be completed by The Sanctuary Village Administrator:

APPROVED DATE: \_\_\_\_\_

DENIED DATE: \_\_\_\_\_

## Contact Information

Tim Busse Town Architect

Developer

The Sanctuary Communities of Franklin,  
NC.(828) 421-1843

[Tim.Ryan@SanctuaryVillage.com](mailto:Tim.Ryan@SanctuaryVillage.com)